

HISTORIC TOWNHOUSES ENVELOPE REPAIRS

D. MADISON HOUSE, TAYLOE HOUSE & COSMOS CLUB

717 MADISON PLACE, NW, WASHINGTON DC, 20005-7700

GENERAL SERVICES ADMINISTRATION
NATIONAL CAPITAL REGION
WASHINGTON, DC 20006

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100% SUBMISSION

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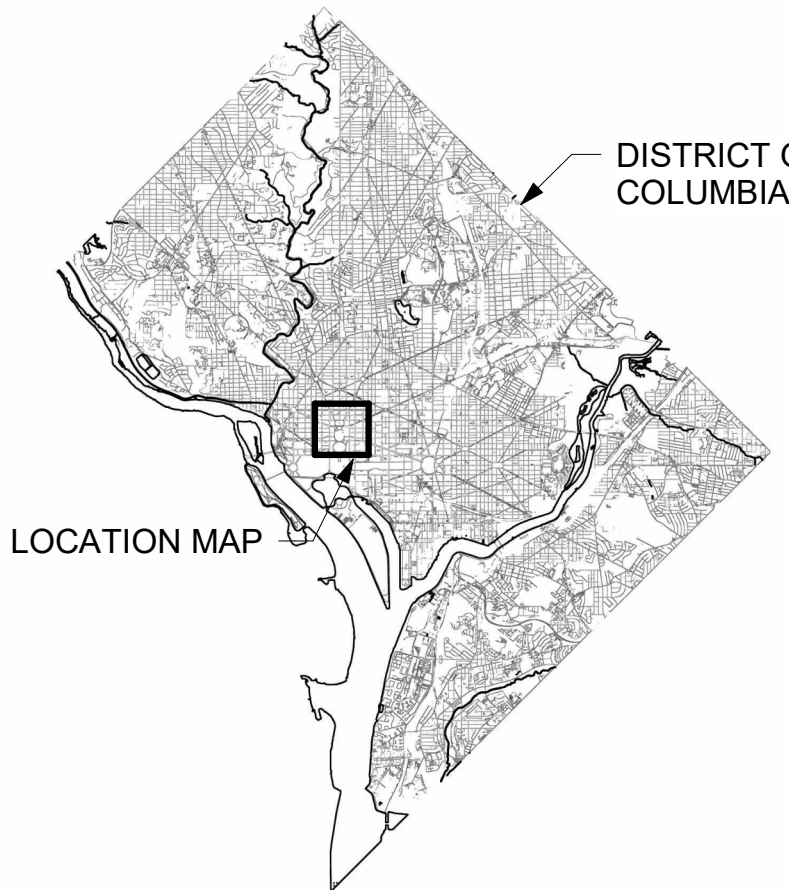
McMullan and Associates
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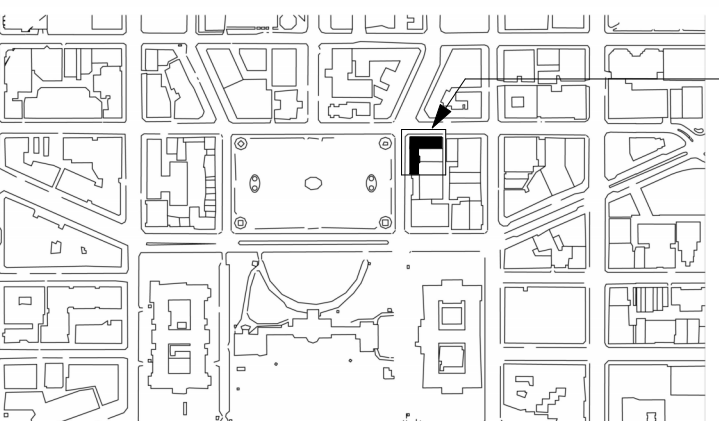
RIB US Cos
4640 Forbes Boulevard, Suite 325
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VICINITY MAP



LOCATION MAP



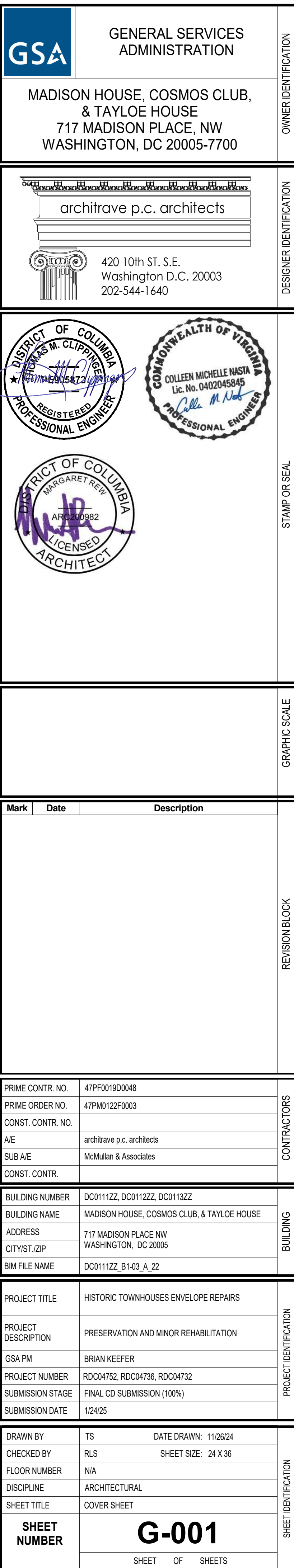
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HAZMAT NOTES

1. A PRE-ALTERATION ASSESSMENT WAS CONDUCTED IN MARCH 2022 FOR HAZARDOUS MATERIALS, INCLUDING ASBESTOS-CONTAINING MATERIALS (ACM), AND LEAD-BASED PAINT (LBP). THE "LIMITED REGULATED MATERIAL SURVEY REPORT" DESCRIBES THE LOCATIONS AND FINDINGS OF THE SURVEY IS ON FILE FOR REVIEW AND USE.
2. ACM ARE PRESENT IN EACH BUILDING. HANDLE, REMOVE, AND DISPOSE OF ACM FOLLOWING SECTION 020850.
 - a. ASBESTOS-CONTAINING CAULKING IS PRESENT IN THE GLAZING COMPONENT OF EACH WINDOW AND DOOR ASSEMBLY.
 - b. MADISON HOUSE: SEAM SEALANT ON CANVAS PIPE WRAPS, CANVAS PIPE WRAPS, PLASTER WALLS, GYPSUM BOARD CEILINGS, PLASTER CEILINGS, FIRE BRICKS ON FIREPLACES, AND ROOFING COMPONENTS CONTAIN ACM.
 - ~~c. COSMOS CLUB: PIPE INSULATION AND SEAM SEALANT ON CANVAS PIPE WRAPS, SEALANT ON DARE METAL BUOYS, GYPSUM BOARD CEILING JOINT COMPOUND, DECORATIVE PLASTERS, SKIM COAT OVER BRICKS, AND ROOFING COMPONENTS CONTAIN ACM.~~
 - ~~d. TAYLOR HOUSE: PIPE INSULATION AND WRAPS, SPRAY ON FIREPROOFING, GYPSUM BOARD CEILING JOINT COMPOUND, DECORATIVE PLASTERS, AND ROOFING COMPONENTS CONTAIN ACM.~~
3. LBP ARE PRESENT IN EACH BUILDING: HANDLE, REMOVE, AND DISPOSE OF LBP FOLLOWING SECTION 020900.
 - a. ALL BUILDINGS: WINDOW SYSTEMS AND THEIR COMPONENTS, WOOD DOORS CONTAIN LBP ON THE INTERIOR AND EXTERIOR SURFACES, GUTTERS AND DOWNSPOUTS
 - b. MADISON HOUSE: EXTERIOR PAINT ON STUCCO, PAINT ON STONE SILLS AND LINTELS CONTAIN LBP. ASSUME LBP ON EXTERIOR UPPER STORY WOOD AND METAL SOFFITS, FASCIA, AND DECORATIVE ELEMENTS.
 - ~~c. COSMOS CLUB: FIFTH FLOOR WALLS ABOVE CHAIR RAIL, METAL I-BEAMS (ORANGE PAINT) IN FIFTH FLOOR CEILING CONTAIN LBP. ASSUME LBP ON WROUGHT IRON BALCONIES AND WINDOW WELL GRILLS.~~
 - ~~d. TAYLOR HOUSE: EXTERIOR BRICK WALLS AND CHIMNEYS, WINDOW SHUTTERS, WINDOW WELLS CONTAIN LBP. ASSUME LBP ON WINDOW WELL GRILLS, BALCONY WROUGHT IRON ELEMENTS, EAST FACADE VENTS, DOWNSPOUTS, UPPER STORY WOOD AND METAL SOFFITS, FASCIA, AND DECORATIVE ELEMENTS.~~
4. IF THE CONTRACTOR ENCOUNTERS OTHER MATERIALS SUSPECTED TO CONTAIN REGULATED MATERIAL (HAZARDOUS MATERIALS), CEASE DEMOLITION / REMOVAL ACTIVITIES; NOTIFY CONTRACTING OFFICER AND CONDUCT ASBESTOS AND LEAD PAINT CHIP SAMPLING AND TESTING. BASED ON FINDINGS FOLLOW REQUIREMENTS OF SECTIONS 02850 FOR ACM REMOVAL AND DISPOSAL AND 020900 FOR LBP REMOVAL AND DISPOSAL.

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DESIGN NOTES

CODES AND STANDARDS

- A. WORK IN ACCORDANCE WITH REQUIREMENTS OF FACILITIES STANDARDS FOR PUBLIC BUILDINGS SERVICE (P100) WITH 2022 ADDENDUM AND THE INTERNATIONAL BUILDING CODE, 2021.
- B. USE THE CURRENT VERSION OF ALL CODES, REFERENCES AND STANDARDS REFERRED UNLESS A DIFFERENT VERSION IS LISTED IN THE BUILDING CODE SIGN AND LOADING CRITERIA

DESIGN AND LOADING CRITERIA

- A. SNOW LOAD
1. GROUND SNOW LOAD: (PG) = 30.0 PSF
 2. SNOW EXPOSURE FACTOR (CE): = 1.0
 3. IMPORTANCE FACTOR (I): = 1.0
 4. THERMAL FACTOR (CT): = 1.0
 5. FLAT ROOF SNOW LOAD (PF): = 21.7 PSF
- B. SEISMIC LOAD
1. RISK CATEGORY: = II
 2. SEISMIC IMPORTANCE FACTOR (I): = 1.0
 3. MAPPED SPECTRAL RESPONSE: $SS = 0.133, S_i = 0.043$
 4. SPECTRAL RESPONSE COEFF $S_{DS} = 0.142, S_{D1} = 0.069$
 5. SITE CLASSIFICATION: = D
 6. SEISMIC DESIGN CATEGORY = B
 7. RESPONSE MODIFICATION FACTOR: $R = 1.5$

- C. WIND LOAD
- 1. ULTIMATE WIND SPEED: = 115 MPH
 - 2. RISK CATEGORY: = II
 - 3. EXPOSURE: = B
 - 4. INTERNAL PRESSURE COEFF: = +/- 0.18
 - 5. COMPONENT AND CLADDING:
 - FOR WALL = [XX] PSF MAX
 - FOR ROOF = [XX] PSF MAX
 - FOR PARAPET = [XX] PSF MAX
 - OTHER DESIGN PRESSURES MAYBE USED IF SIGNED & SEALED
 - CALCULATIONS ARE SUBMITTED FOR REVIEW
- D. FLOOR DESIGN MINIMUM LIVE LOADS:
- 1. OFFICES: = 50 PSF + 20 PARTITION
 - 2. PORCH = 100 PSF
 - 3. ROOFS: = FLAT ROOF SNOW LOAD IN ADDITION TO APPLICABLE SNOW DRIFTING CONSIDERATION.

CONCRETE AND REINFORCING

- PROVIDE CONCRETE WORK IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", ACI 318. AS MODIFIED BY IRC CODE.
- B. CONCRETE DESIGN IS IN ACCORDANCE WITH "STRENGTH DESIGN METHOD."
- C. PROVIDE CONCRETE MIX WITH ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS (FC)=5000PSI CLASS C0,S0,F1,W0
- D. CONCRETE MATERIALS:
 - 1. CEMENT: ASTM C-150 TYPE I OR III
 - 2. CEMENT SUBSTITUTES: ASTM C-595 TYPE "1P" (LIMIT TO 25% MINIMUM CEMENTITIOUS CONTENT BY WEIGHT.)
 - 3. AGGREGATES: ASTM C-33 (NORMAL WEIGHT)
ASTM C-330 (STRUCTURAL LIGHTWEIGHT)
 - 4. AIR-ENTRAINING ADMIX: ASTM C-260
 - 5. ISOLATION JOINT FILLER: ASTM D-1751
 - 6. JOINT SEALANT: ASTM C-920
- E. CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED 6%, +/- 1%.
- F. THOROUGHLY COMPACT CONCRETE DURING PLACEMENT AND WORK AROUND EMBEDDED ITEMS AND INTO CORNERS OF FORMS.
- G. LOCATE AND SECURE ALL ITEMS TO BE EMBEDDED IN CONCRETE. VERIFY LOCATION OF EMBEDMENT PLATES PRIOR TO CONCRETE PLACEMENT.
- H. LOCATE DEPRESSIONS ACCORDING TO ARCHITECTURAL PLANS. COORDINATE PENETRATIONS FOR MECHANICAL, PLUMBING AND ELECTRICAL WORK WITH MECHANICAL, PLUMBING AND ELECTRICAL ENGINEERING AND ARCHITECTURAL DRAWINGS.
- I. PROVIDE CONCRETE SLUMP = 4" PLUS OR MINUS 1".
- J. PROVIDE KEED JOINTS BETWEEN ALL NON-MONOLITHIC CONCRETE JOINTS.
- K. PROVIDE GROUT THAT IS NON-SHRINKABLE, NON-METALLIC CONFORMING TO ASTM C1107, AND SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH AT 28 DAYS OF 7,000 PSI. PREGROUTING OF BASE PLATES SHALL NOT BE PERMITTED.
- L. PROVIDE DEFORMED REINFORCING BARS #3 THRU #11 IN ACCORDANCE WITH "SPECIFICATIONS FOR DEFORMED AND PLAIN BILLET STEEL BARS FOR CONCRETE REINFORCEMENT" ASTM A-615, GRADE 60 KSI.
- M. SUBMIT SHOP DRAWINGS FOR REINFORCEMENT TO THE COR FOR APPROVAL. PREPARE DRAWINGS UNDER THE SUPERVISION OF A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION DETAILING FABRICATING, BENDING, AND PLACING CONCRETE REINFORCEMENT. COMPLY WITH ACI 315 AND ACI DETAILING MANUAL SP-66, SHOWING BAR SCHEDULES, STIRRUP SPACING, BENT BAR DIAGRAMS, AND ARRANGEMENT OF CONCRETE REINFORCEMENT.
- N. PROVIDE BARS MARKED CONTINUOUS (CONT) THAT ARE LAPPED IN ACCORDANCE WITH REQUIREMENTS FOR SPLICES AS DEFINED IN ACI 318, MINIMUM 50 BAR DIAMETERS, UNLESS INDICATED OTHERWISE.
- O. BAR LENGTHS SHOWN ON PLAN DO NOT INCLUDE LENGTH OF HOOK WHERE A HOOK IS INDICATED. PROVIDE STANDARD HOOK UNLESS DETAILED OTHERWISE.
- P. PROVIDE MINIMUM CONCRETE COVER BETWEEN FACE OF REINFORCING BAR AND FACE OF CONCRETE AS FOLLOWS:
 - 1. CONCRETE CAST AGAINST EARTH = 3"
 - 2. FORMED CONCRETE EXPOSED TO WEATHER OR EARTH = 2"
- Q. PROVIDE RIGID INSULATION SUPPORTING NEW CONCRETE SLABS WITH THE FOLLOWING MINIMUM PROPERTIES:
 - 1. EXTRUDED POLYSTYRENE ASTM D6817
 - 2. COMPRESSIVE STRENGTH: 50 PSI @10% DEFORMATION PER ASTM D-1621
 - 3. ELASTIC MODULUS: 1500 PSI
 - 4. FLEXURAL STRENGTH: 60PSI
 - 5. DENSITY: 2.4 PCF

STRUCTURAL STEEL

- PROVIDE STRUCTURAL STEEL THAT IS DESIGNED, FABRICATED AND
ERECTED IN ACCORDANCE WITH "SPECIFICATION FOR STRUCTURAL STEEL
BUILDINGS AND THE "MANUAL OF STEEL CONSTRUCTION" FIFTEENTH
EDITION.
- B. STRUCTURAL STEEL:
1. STRUCTURAL "W" & "T" SHAPES: ASTM A-992 FY = 50,000 PSI
2. BALANCE OF STEEL SHAPES & PLATES: ASTM A-36 FY = 36,000 PSI
3. HIGH STRENGTH BOLTS: ASTM F3125, GR A-325 CONN TYPE-N
4. ANCHOR RODS: ASTM F-1554 GR36 OR GR 55 WITH WELDABILITY SUPPLEMENT S1.
5. GALVANIZING (HOT-DIP): ASTM A-123
- C. ALTERNATE CONNECTIONS TO THOSE SHOWN ON PLANS AND DETAILS WILL BE ALLOWED ONLY WITH THE APPROVAL OF THE COR. IF SUCH APPROVAL IS GRANTED FOR ANY CONNECTIONS NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS (FABRICATOR'S REDESIGN), THEN SUBMIT SHOP DRAWING FOR ALTERNATE CONNECTIONS UNDER THE SEAL OF LICENSURE OF THE FABRICATOR'S ENGINEER FOR THE LOCAL JURISDICTION.
- D. PROVIDE A-325 BOLTS TIGHTENED TO THE "SNUG TIGHT" CONDITION. UNO, THAT IS DEFINED AS THE TIGHTNESS ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH UNLESS OTHERWISE NOTED. ALL THE PLIES OF THE CONNECTED MATERIAL MUST BE INTO FIRM CONTACT TO CONFIRM THE SNUG TIGHT CONDITION.
- E. PROVIDE WELDING ACCORDING TO THE REQUIREMENTS OF THE "STRUCTURAL WELDING CODE" AWS D1.1-08. USE 70 KSI LOW-HYDROGEN ELECTRODES.
- F. PROVIDE NON-SHRINK NON-METALLIC GROUT UNDER BEAM BEARING PLATES AND COLUMN BASE PLATES WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH $f'_{c} = 7000$ PSI.
- G. PROVIDE STRUCTURAL STEEL THAT IS HOT DIPPED GALVANIZED TO ASTM A123 GRADE 2350 WITH TOUCH UP ON ALL DAMAGED AREAS, INCLUDING FIELD WELDS AT ALL EXTERIOR EXPOSED (INCLUDING IN EXTERIOR WALL WYTHE'S) SHAPES, PLATES AND BOLTS.
- H. PROVIDE STEEL LINTELS WITH A MINIMUM OF 8" BEARING PROPORTIONED AS FOLLOWS FOR EACH 4" OF WALL WIDTH.
- | OPENING SIZE | LINTEL |
|----------------|--------------------|
| UP TO 4'-0" | L 4 X 3-1/2 X 5/16 |
| 4'-1" TO 5'-0" | L 5 X 3-1/2 X 5/16 |
| 5'-1" TO 6'-0" | L 5 X 3-1/2 X 3/8 |
- I. DO NOT FABRICATE STRUCTURAL STEEL PRIOR TO APPROVAL OF SHOP DRAWINGS.
- J. NO OPENINGS IN BEAMS OR COLUMNS ARE PERMITTED WITHOUT THE APPROVAL OF THE COTR.
- K. SPLICING OF STRUCTURAL STEEL MEMBERS WHERE NOT DETAILED ON THE CONTRACT DOCUMENTS IS PROHIBITED WITHOUT PRIOR APPROVAL OF THE COR AS TO LOCATION, TYPE OF SPlice AND CONNECTION TO BE MADE.
- L. PROVIDE STRUCTURAL STEEL SHOP DRAWINGS THAT HAVE BEEN PREPARED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER REGISTERED IN PROJECT JURISDICTION. INCLUDE DETAILS FOR APPLICATION AND ASSEMBLY OF ALL STRUCTURAL MEMBERS. INCLUDE DETAILS OF CUTS, CONNECTIONS, HOLES, AND OTHER PERTINENT DATA. INDICATE WELDS BY STANDARD AWS 2.1 SYMBOLS SHOWING SIZE, LENGTH AND TYPE OF EACH WELD. SUBMITTED STRUCTURAL STEEL SHOP DRAWINGS TO THE COR FOR APPROVAL.
- M. WELD MISCELLANEOUS STEEL CONNECTIONS ALL AROUND WITH ONE-QUARTER-INCH FILLET WELD UNLESS OTHERWISE NOTED, EXCEPT FOR SLOTTED CONNECTIONS.
- N. PROVIDE A MINIMUM BEARING LENGTH OF 6" FOR ALL BEAMS SUPPORTED ON MASONRY.
- O. THE CONTRACTOR SHALL NOT RELEASE BEAMS OR DIAGONAL BRACING FROM HOISTING CABLES UNTIL ALL MEMBERS ARE SECURE WITH AT LEAST (2) BOLTS. ALL FIELD WELDED CONNECTIONS SHALL BE COMPLETED BEFORE RELEASING CABLES.
- P. WHERE DOUBLE BEAM CONNECTIONS OCCUR ON EACH SIDE OF A COLUMN WEB OR TO THE WEB OF A BEAM OVER A COLUMN, THERE MUST BE AT LEAST ONE BOLT WITH A WRENCH-TIGHT NUT SECURING THE FIRST BEAM CONNECTED AT ALL TIMES.

MASONRY

- MANUFACTURE AND ERECT MASONRY IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES", (ACI 530/ASCE 5/TMS 402); AND "SPECIFICATIONS FOR MASONRY STRUCTURES", (ACI 530.1/ASCE 6/TMS 602).
- Q. MASONRY INSPECTION FOR QUALITY ASSURANCE IS LEVEL B AS DEFINED IN THE ACI-530.1 SPECIFICATIONS.
- R. UNIT SPECIFICATIONS:
- 1. LOAD-BEARING, HOLLOW OR SOLID CMU: ASTM C-90
 - 2. MIN COMPR STRENGTH ON NET AREA = 1,900 PSI
 - 3. SOLID CLAY OR SHALE FACING BRICK: ASTM C-216
 - 4. MIN COMPR STRENGTH GROSS AREA TYPE "SW": = 3,000 PSI
 - 5. MIN COMPR STRENGTH GROSS AREA TYPE "MW": = 2,500 PSI
 - 6. USE TYPE "SW" WHERE UNITS ARE EXPOSED TO WEATHER OR ARE BELOW GROUND SURFACE. OTHER AREAS SHALL BE UNITS TYPE "MW".
 - 7. MORTAR TYPE "M" OR "N": ASTM C-270
 - 8. USE TYPE "N" WHERE EXPOSED TO WEATHER AND TYPE M BELOW GROUND SURFACE. ALL OTHER AREAS SHALL BE OF TYPE "M".
 - 9. GROUT FOR BEAM BEARING AND COLUMN BASE PLATES:
 - a) NON-SHRINK NON METALLIC ASTM C-1107 GRADE "C". F'C = 5,000 PSI.
 - 10. GROUT FOR FILLING CELLS OF MASONRY & BOND BEAMS:
 - a) ASTM C-476 COARSE, F'C = 2,500 PSI
- S. DESIGN MINIMUM STRENGTH F'M=1500 PSI
- T. BOND WYTHE'S OF CONCRETE MASONRY TOGETHER AT 16" VERTICALLY (TWO BLOCK COURSES) USING CONTINUOUS HORIZONTAL WALL REINFORCING.
- U. PROVIDE TRUSS TYPE, BUTT WELDED SIDE AND WEB BARS OF GALVANIZED W1.7 WIRES FOR CONTINUOUS HORIZONTAL WALL REINFORCING. PROVIDE PREFABRICATED CORNERS AND TEES FOR WALL INTERSECTIONS. LAP 6" AT SPLICES.
- V. FILL MASONRY UNIT CELLS WITH COARSE GROUT WHERE CELLS CONTAIN REINFORCEMENT.
- W. PROVIDE ADEQUATE BRACING AND SUPPORT FOR MASONRY WORK UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- X. PROVIDE TWO (2) COURSES OF SOLID CMU PER ASTM C 90 OR GROUT-FILLED

- CMU BENEATH ALL BEAM AND HEADER BEARING POINTS.
- Y. ATTACH BRICK VENEER WITH TIES SPACED AT 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY (MAXIMUM). CORRUGATED TIES ARE PROHIBITED FOR WALLS WITH CAVITIES OVER 1". TIES SHALL EXTEND 3" INTO BRICK AND/OR CMU.

HISTORIC MASONRY:

- A. ALL EXISTING MASONRY ON THIS PROJECT IS HISTORIC, AND WORK SHALL BE GOVERNED BY THE FOLLOWING DOCUMENTS:
 1. THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, NATIONAL PARK SERVICE.
 2. GSA PRESERVATION NOTE 1, USE OF POWER TOOLS FOR MORTAR REMOVAL.
 3. GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS: MASONRY, NATIONAL PARK SERVICE.
 4. PRESERVATION BRIEF #2, REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS, NATIONAL PARK SERVICE.
- B. ANY BRICK OR STONE MASONRY NOTED TO BE REMOVED SHALL BE CAREFULLY REMOVED TO AVOID DAMAGE AND CLEANED FOR REUSE.
- C. MORTAR SHALL MATCH THE PROPORTIONS OF CEMENT AND/OR LIME DETERMINED BY PRE-CONSTRUCTION TESTING OF THE EXISTING MORTAR. THE MORTAR SHALL MATCH THE COMPOSITION, COLOR, TEXTURE, AND JOINT PROFILE OF THE EXISTING MORTAR.
- D. PREPARE MASONRY MOCK UPS FOR COMPARISON AND APPROVAL BY THE CONTRACTING OFFICER.
- E. PERFORM MORTAR TESTING AND PREPARE MOCKUPS FOR EACH DIFFERENT AREA AT EACH OF THE THREE (DOLLEY MADISON, COSMOS CLUB, TAYLOR HOUSE) BUILDINGS.
- F. STAINLESS STEEL HELICAL TIES SHALL BE SIMILAR TO "DRYFIX" BY HELIFIX, INC. INSTALL TIES THROUGH MORTAR JOINT IN OUTER WYTHE, RECESS OUTSIDE END OF TIE, AND FILL HOLE WITH REPOINTING MORTAR PER MANUFACTURER'S INSTRUCTIONS AND AT SPACING INDICATED.
- G. PROVIDE ADEQUATE BRACING AND SUPPORT FOR MASONRY WORK UNTIL PERMANENT CONSTRUCTION IS IN PLACE. TEMPORARY SHORING AND/OR BRACING SHALL NOT BE FIXED OR IN DIRECT CONTACT WITH ANY HISTORIC MATERIALS INCLUDING BUT NOT LIMITED TO MASONRY.
- H. PROVIDE ADJUSTABLE MASONRY ANCHORS TO STEEL BEAMS AND COLUMNS WHICH ARE EMBEDDED IN MASONRY AT 2'-0" O.C. MAXIMUM.
- I. CRACK INJECTION MATERIAL SHALL BE A MICROFINE, CEMENT-BASED GROUT USING GRAVITY FEED WITH A COMPRESSIVE STRENGTH OF 2,500 TO 3,500 PSI. THE BASIS OF DESIGN PRODUCT IS JAHN M30 #32 BY CATHEDRAL STONE PRODUCTS, INC. FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR PREPARATION AND INSTALLATION.

GENERAL

- A. INFORMATION SHOWN REGARDING EXISTING CONDITIONS HAS BEEN OBTAINED BY LIMITED VISUAL OBSERVATIONS AND FROM LIMITED EXISTING DRAWINGS PROVIDED BY THE GOVERNMENT. AREAS NOT VISIBLE HAVE BEEN ASSUMED TYPICAL WITH OBSERVED EXISTING CONDITIONS.
- B. MEASURE AND PROVIDE ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE PRIOR TO CONSTRUCTION AND THE SUBMISSION OF SHOP DRAWINGS, AND NOTIFY THE COR IMMEDIATELY OF ANY DISCREPANCIES. PROVIDE VERIFICATION AND NOTIFICATION AT LEAST TWO WEEKS PRIOR TO THE START OF WORK SO THAT ANY NECESSARY CHANGES CAN BE MADE WITHOUT DELAYING THE PROJECT SCHEDULE.
- C. DETAILS, SECTIONS, AND NOTES SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND APPLY TO SIMILAR CONDITIONS ELSEWHERE UNLESS OTHERWISE SHOWN OR NOTED.
- D. PROVIDE SHOP DRAWINGS SUBMITTED TO THE COR BEARING THE CONTRACTOR'S STAMP, DATE AND SIGNATURE THAT VERIFIES THAT THE DOCUMENTS HAVE BEEN REVIEWED AND CORRECTED FOR CONFORMANCE TO AND COORDINATION WITH CONTRACT DOCUMENTS.
- E. PROCEED WITH FABRICATION ONLY AFTER SHOP DRAWING APPROVAL BY THE ENGINEER.
- F. DO NOT REPRODUCE ANY PORTION OF CONTRACT DOCUMENTS IN THE SHOP DRAWINGS.
- G. SUBMIT INSPECTION REPORTS AND MATERIALS TESTING REPORTS TO THE COR IN A TIMELY MANNER SUCH THAT CONSTRUCTION DELAY WILL BE AVOIDED.
- H. MEANS AND METHODS OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- I. PROVIDE TEMPORARY BRACING AND SHORING, AS REQUIRED, TO ENSURE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING CONSTRUCTION.
- J. WHERE THE CONTRACTOR IS REQUIRED TO ENGAGE A PROFESSIONAL ENGINEER TO DESIGN AND SUBMIT CALCULATIONS, AND WHERE THE PROFESSIONAL ENGINEER PREPARES THE CALCULATIONS USING A COMPUTER SOFTWARE SYSTEM, USE SOFTWARE THAT IS READILY AVAILABLE, INDUSTRY STANDARD FOR STRUCTURAL ENGINEERING IN COMMON USE.

STRUCTURAL DEMOLITION

- A. ALL MEANS AND METHODS OF REMOVING EXISTING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- B. VERIFY ALL OPENING SIZES AND LOCATIONS WITH OTHER DISCIPLINES. THE DRAWINGS DO NOT SHOW ALL OPENINGS REQUIRED. ADDITIONAL OPENINGS, BLOCKOUTS AND SLEEVES MAY BE REQUIRED BY OTHER DISCIPLINES AND SHALL BE CONSTRUCTED USING THE TYPICAL DETAILS AND/OR THE CRITERIA INDICATED ON THE DRAWINGS. OPENINGS REQUIRED BUT NOT SHOWN ON THE STRUCTURAL DRAWINGS MUST BE APPROVED BY THE COR.
- C. ALL NEW OPENINGS THROUGH EXISTING STRUCTURE SHALL BE LOCATED AND MARKED. IF OPENING ARE THROUGH REINFORCED CONCRETE, FIND AND MARK THE LOCATION OF THE REINFORCEMENT. DO NOT CUT OPENINGS UNTIL APPROVED BY THE COR.
- D. WHERE NEW OPENINGS IN EXISTING CONCRETE SLAB ARE TO BE CREATED, CORE HOLES AT THE OUTSIDE CORNERS OF THE NEW OPENING PRIOR TO DEMOLITION. SAW-CUT AND DEMOLISH SLAB ONLY AFTER THE INSTALLATION OF ALL REQUIRED NEW STRUCTURAL FRAMING AND/OR REINFORCEMENT IN PLAN OR SECTION. UNO. SAW CUT IN STRAIGHT LINES AND DO NOT EXTEND INTO EXISTING SLAB TO REMAIN NOR BEYOND THE HOLES CORED AT THE CORNERS OF THE NEW OPENING.

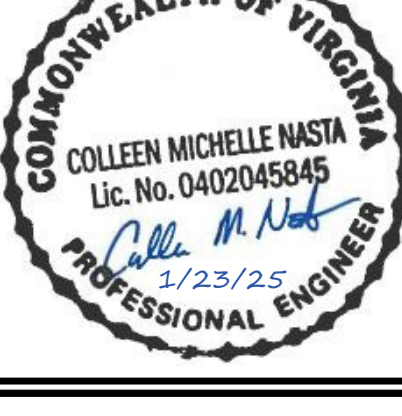
SHORING AND BRACING

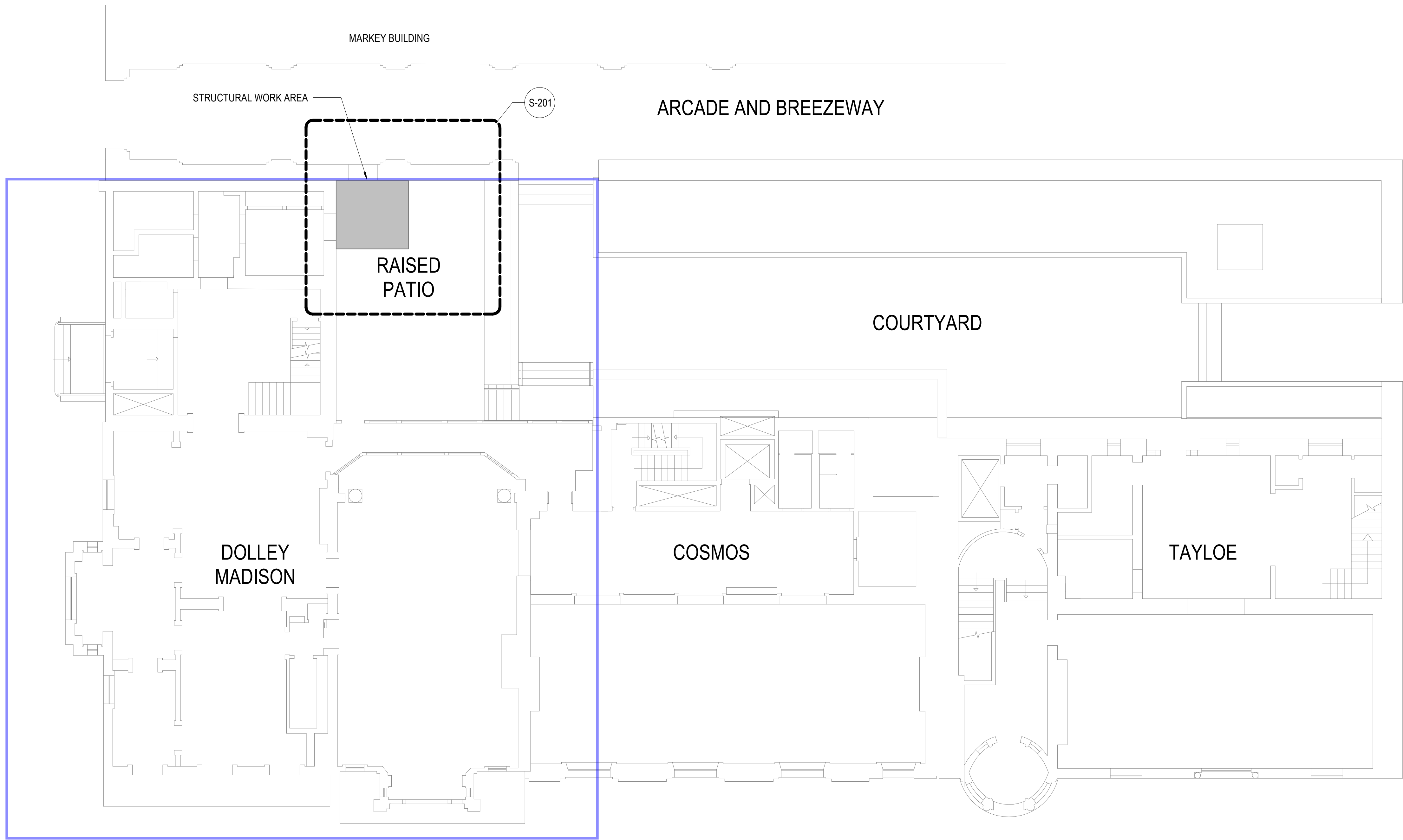
- ENGAGE A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN THE DISTRICT OF COLUMBIA TO PERFORM AN ENGINEERING SURVEY OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT COULD RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION OPERATIONS.
1. SUBMIT SURVEY A MINIMUM OF TWO WEEKS BEFORE SCHEDULED START OF WORK OR EARLIER IF NECESSARY TO AVOID DELAYS.
2. SUBMIT WEEKLY SURVEY REPORTS FROM THE CONTRACTOR'S PROFESSIONAL ENGINEER WHO IS RESPONSIBLE FOR SHORING AS THE WORK PROGRESSES NOTING HAZARDS RESULTING FROM STRUCTURAL DEMOLITION ACTIVITIES.
- B. AT A MINIMUM, SHORE AND BRACE THE EXISTING STRUCTURE AS INDICATED IN THE CONSTRUCTION DOCUMENTS AND AS NEEDED TO COMPLETE THE WORK. INSTALL ADDITIONAL SHORING AND BRACING AS DETERMINED BY THE CONTRACTOR'S PROFESSIONAL SHORING ENGINEER.
- C. DESIGN TEMPORARY SHORING AND BRACING FOR SELF WEIGHT OF STRUCTURE, CODE WIND LOADS, AND A MINIMUM CONSTRUCTION LOAD OF 100 PSF OR 3,000 LBS POINT LOAD OR ACTUAL LOAD WHICHEVER PRODUCES GREATER STRESSES. USE DESIGN PROCEDURES THAT CONFORM TO ALL GOVERNING CODES AND SAFETY REQUIREMENTS.
- D. SHORE AND BRACE EXISTING STRUCTURE PRIOR TO DEMOLITION WORK AND UNTIL PERMANENT NEW STRUCTURE OR REPAIRED EXISTING STRUCTURE CAN SUPPORT LOADS.
- E. SUBMIT SHORING DESIGN DRAWINGS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE DISTRICT OF COLUMBIA. INDICATE ALL POINTS OF SUPPORT TO EXISTING STRUCTURE, AND ANY LOADS APPLIED TO EXISTING STRUCTURE TO REMAIN.
- F. AFTER SHORING INSTALLATION, SUBMIT A LETTER REPORT FROM THE CONTRACTOR'S SHORING ENGINEER THAT THEY HAVE VISITED THE SITE AND DETERMINED THAT THE SHORING WAS INSTALLED IN ACCORDANCE WITH THEIR DESIGN.
- G. PROVIDE ADEQUATE TEMPORARY BRACING AND SUPPORT FOR ALL NEW WORK INCLUDING BUT NOT LIMITED TO UNBRACED MASONRY WORK UNTIL PERMANENT CONSTRUCTION IN PLACE.
- H. MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, AND STRUCTURAL SUPPORTS TO PRESERVE STABILITY AND PREVENT MOVEMENT OR COLLAPSE OF ANY PART OF STRUCTURE.
1. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.
- I. BRACING
 1. BRACING: LOCATE BRACING TO CLEAR COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER PERMANENT WORK, IF NECESSARY TO MOVE BRACE, INSTALL NEW BRACING BEFORE REMOVING ORIGINAL BRACE.
 - I. DO NOT PLACE BRACING WHERE IT WILL BE CAST INTO OR INCLUDED IN PERMANENT CONCRETE WORK UNLESS OTHERWISE APPROVED BY THE COR.
 - II. INSTALL INTERNAL BRACING IF REQUIRED TO PREVENT SPREADING OR DISTORTION OF BRACED FRAMES.
 - III. MAINTAIN BRACING UNTIL STRUCTURAL ELEMENTS ARE SUPPORTED BY OTHER BRACING OR UNTIL PERMANENT CONSTRUCTION IS ABLE TO WITHSTAND DESIGN LOADS.

TESTING AND INSPECTION

RETAIN THE SERVICES TESTING AND INSPECTION AGENCY TO PERFORM THE SERVICES SPECIFIED.

- B. FAILURE TO RETAIN A TESTING AGENCY TO PROVIDE REQUIRED SERVICES OR A FAILURE TO SUBMIT SIGNED AND SEALED REPORTS IS A NON-COMPLIANCE WITH CONTRACT DOCUMENTS.
- C. REMOVE AND REPLACE CONSTRUCTION CONSIDERED NON-COMPLIANT.
- D. ALL TESTING AND INSPECTION SHALL BE UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE LOCAL JURISDICTION.
- E. PROVIDE PRELIMINARY HANDWRITTEN SITE VISIT REPORTS CONFIRMING VERBAL DISCUSSIONS TO THE CONTRACTOR REGARDING THE RESULTS OF INSPECTIONS PRIOR TO LEAVING JOB SITE.
- F. SUBMIT FINAL REPORTS TO THE COR IN A TIMELY MANNER, BUT NO LATER THAN TEN (10) DAYS FOLLOWING INSPECTION OR TESTING UNDER THE NAME AND SIGNATURE OF THE INSPECTOR AND LICENSURE SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER RESPONSIBLE FOR TESTING AND INSPECTION.
- G. PROVIDE INSPECTION FOR THE FOLLOWING AT A MINIMUM:
 - 1. REINFORCING: LOCATION, ASTM DESIGNATION, BAR SIZES, TYPE, QUANTITY, PLACEMENT, SPACING, AND CLEARANCES.
 - 2. CONCRETE: ALL STRUCTURAL CONCRETE; LOCATION, STRENGTH, TYPE (NORMAL OR LIGHTWEIGHT), SLUMP, PLACEMENT, AIR TEMPERATURE, CURING AND WEATHER ACCOMMODATIONS AND CONCRETE ADDITIVES.
 - 3. STRUCTURAL STEEL: LOCATION, ASTM DESIGNATION, MEMBER SIZES, TYPE (PLAIN, PAINTED, GALVANIZED), PLACEMENT AND CONNECTIONS INCLUDING WELDS AND BOLTS, POST-INSTALLED ANCHORS, ANCHOR BOLTS AND GROUTING.
 - 4. MASONRY: MASONRY INSPECTION FOR QUALITY ASSURANCE LEVEL B AS DEFINED IN THE MASONRY SPECIFICATIONS AND INCLUDE INSPECTION OF UNITS, GROUT, REINFORCING, ANCHOR BOLTS AND LINTELS AT A MINIMUM. AS MASONRY CONSTRUCTION BEGINS, VERIFY THE FOLLOWING ARE IN COMPLIANCE: PROPORTIONS OF SITE PREPARED MORTAR, CONSTRUCTION OF MORTAR JOINTS, LOCATION OF REINFORCEMENT AND CONNECTORS. PRIOR TO GROUTING, VERIFY THE FOLLOWING ARE IN COMPLIANCE: GROUT SPACE, GRADE AND SIZE OF REINFORCEMENT, PLACEMENT OF REINFORCEMENT, ANCHORS, TIES, AND CONNECTORS, PROPORTIONS OF SITE PREPARED GROUT, AND CONSTRUCTION OF MORTAR JOINTS. VERIFY PLACEMENT OF GROUT, PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS, AND/OR PRISMS.
 - 5. PROVIDE SPECIAL INSPECTION FOR MECHANICAL AND ADHESIVE ANCHORS PER THE APPLICABLE BUILDING CODE AND PER THE CURRENT CC-ES REPORT (IBC TABLE 1705.3 NOTE B).

		GENERAL SERVICES ADMINISTRATION		OWNER IDENTIFICATION
MADISON HOUSE, COSMOS CLUB, & TAYLOE HOUSE 707 MADISON PLACE, NW WASHINGTON, DC 20005-7700				
		11800 SUNRISE VALLEY DR, STE 430 RESTON, VA 20191 (703) 556 - 0651 www.mcmse.com		DESIGNER IDENTIFICATION
				STAMP OR SEAL
				KEY PLAN
				GRAPHIC SCALE
Mark	Date	Description		
PRIME CONTR. NO. 47PF0019D00048				
PRIME ORDER NO.				
CONST. CONTR. NO.				
A/E architectave p.c. architects				
SUB A/E McMullan & Associates				
CONST. CONTR.				
BUILDING NUMBER DC0111ZZ, DC0112ZZ, DC0113ZZ				
BUILDING NAME DOLLEY MADISON				
ADDRESS 717 MADISON PLACE NW WASHINGTON, DC 20005				
CITY/ST./ZIP				
BIM FILE NAME Historic Townhouses Envelope Repairs_Madison_Structural_R2Z				
PROJECT TITLE HISTORIC TOWNHOUSES ENVELOPE REPAIRS - MADISON				
PROJECT DESCRIPTION PRESERVATION AND MINOR REHABILITATION				
GSA PM BRIAN KEEFER				
PROJECT NUMBER RDC04752, RDC04736, RDC04732				
SUBMISSION STAGE FINAL CD SUBMISSION (100%)				
SUBMISSION DATE 1/24/25				
DRAWN BY AA/SO DATE DRAWN: 09/10/2024				
CHECKED BY CN SHEET SIZE: 24 X 36				
FLOOR NUMBER				
DISCIPLINE STRUCTURAL				
SHEET TITLE DESIGN NOTES				
SHEET NUMBER		S-001		
		SHEET 2 OF 45 SHEETS		



1 OVERALL FIRST FLOOR PLAN
S-101/S-101 1/8" = 1'-0"

DOLLEY
MADISON
HOUSE
EXTENTS



GENERAL SERVICES
ADMINISTRATION

MADISON HOUSE, COSMOS CLUB,
& TAYLOE HOUSE
707 MADISON PLACE, NW
WASHINGTON, DC 20005-7700

OWNER IDENTIFICATION

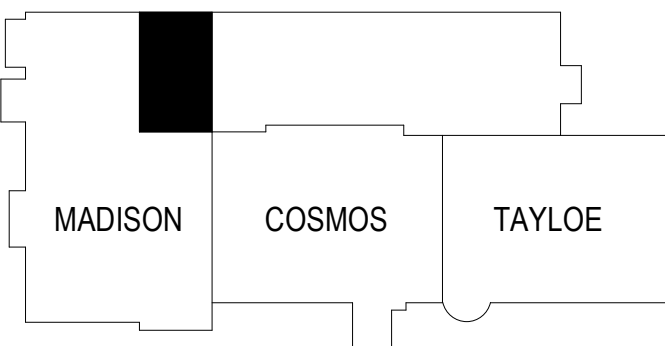


11800 SUNRISE VALLEY DR, STE 430 RESTON, VA 20191
(703) 556 - 0651 www.mcmse.com

DESIGNER IDENTIFICATION

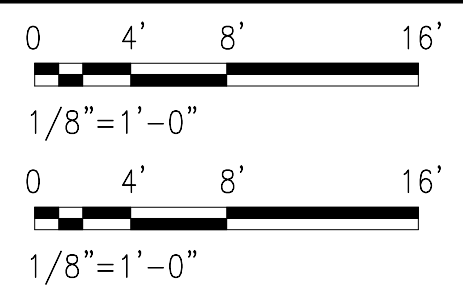


STAMP OR SEAL



MADISON COSMOS TAYLOE

KEY PLAN



GRAPHIC SCALE

Mark	Date	Description
------	------	-------------

REVISION BLOCK

PRIME CONTR. NO.	47PF0019D0048
PRIME ORDER NO.	
CONST. CONTR. NO.	
A/E	architrave p.c. architects
SUB A/E	McMullan & Associates
CONST. CONTR.	

CONTRACTORS

BUILDING NUMBER	DC0111ZZ, DC0112ZZ, DC0113ZZ
BUILDING NAME	DOLLEY MADISON
ADDRESS	717 MADISON PLACE NW
CITY/ST./ZIP	WASHINGTON, DC 20005
BIM FILE NAME	Historic Townhouses Envelope Repairs_Madison_Structural_R22

BUILDING

PROJECT TITLE	HISTORIC TOWNHOUSES ENVELOPE REPAIRS - MADISON
PROJECT DESCRIPTION	PRESERVATION AND MINOR REHABILITATION
GSA PM	BRIAN KEEFER
PROJECT NUMBER	RDC04752, RDC04736, RDC04732
SUBMISSION STAGE	FINAL CD SUBMISSION (100%)
SUBMISSION DATE	1/24/25

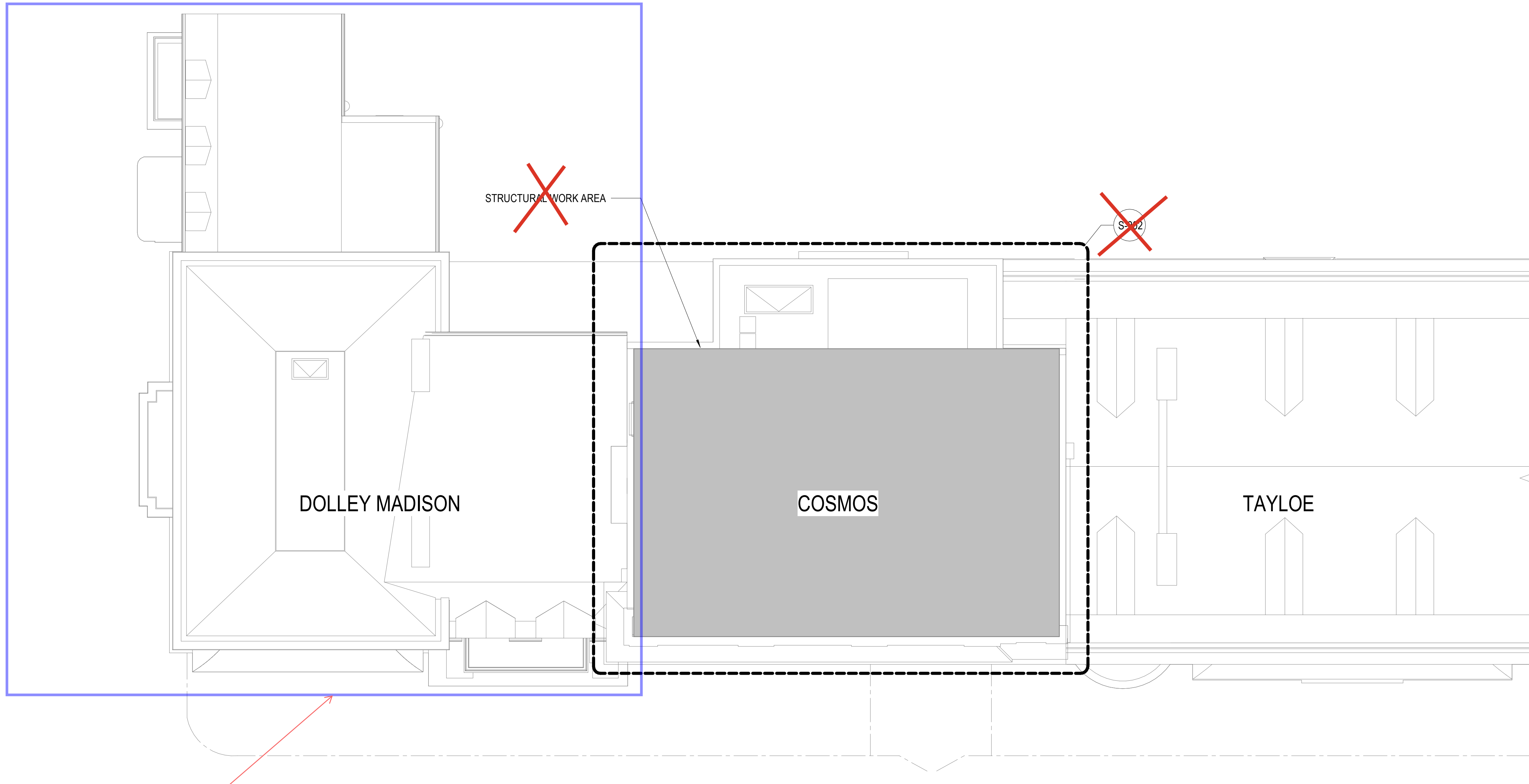
PROJECT IDENTIFICATION

DRAWN BY	AA	DATE DRAWN:	09/10/2024
CHECKED BY	CN	SHEET SIZE:	24 X 36
FLOOR NUMBER			
DISCIPLINE	STRUCTURAL		
SHEET TITLE	OVERALL FIRST FLOOR PLAN		

SHEET NUMBER	S-101

SHEET IDENTIFICATION

1/23/2025 3:13:55 PM



DOLLEY
MADISON
HOUSE
EXTENTS

1
S-102/S-102 1/8" = 1'-0"

OVERALL ROOF PLAN



GENERAL SERVICES
ADMINISTRATION

MADISON HOUSE, COSMOS CLUB,
& TAYLOE HOUSE
707 MADISON PLACE, NW
WASHINGTON, DC 20005-7700

OWNER IDENTIFICATION

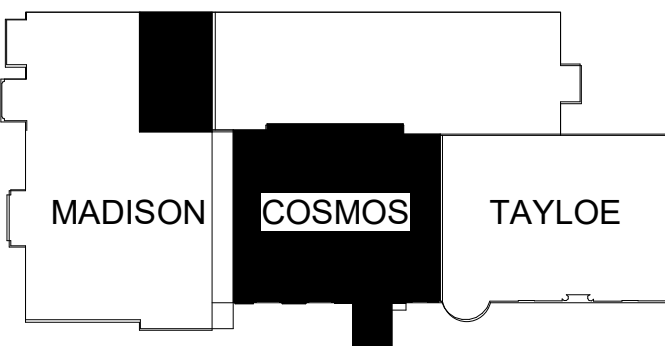


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(703) 556 - 0651 www.mcmse.com

DESIGNER IDENTIFICATION

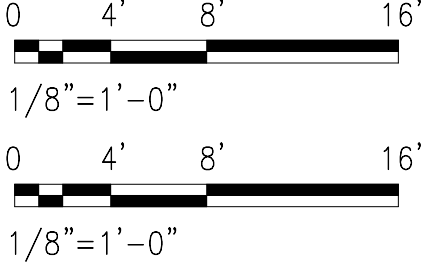


STAMP OR SEAL



MADISON COSMOS TAYLOE

KEY PLAN



GRAPHIC SCALE

Mark	Date	Description
------	------	-------------

REVISION BLOCK

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A/E architrave p.c. architects

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DRAWN BY AA DATE DRAWN: 09/10/2024

CHECKED BY CN SHEET SIZE: 24 X 36

FLOOR NUMBER

DISCIPLINE STRUCTURAL

SHEET TITLE OVERALL ROOF LEVEL PLAN

SHEET IDENTIFICATION

SHEET
NUMBER

S-102

SHEET 5 OF 45 SHEETS

DRAWING ABBREVIATIONS			DRAWING SYMBOLS		GENERAL NOTES
A A/E ABA ACM ADA ADMIN AFC AFF AFG AFS AHU ALT AL APC APPROX AR ARCH ASC ASSY AVG AW B BB BD BLDG BLKG BLT IN BOT BRKT BRK BRZ BTWN C C C CONC CAB CAV CD CFLG CI CIP CL CLG CLG HT CLL CLO CLR CM CMU COL CONC COORD CPT CS CSWK CTR D D DEMO DEPT DET DH DIA DIR DIST DN DOC DPI DR DS E EA ES EL ELEV ENTR EPXY EQ ETR EXIST EXT F FA FAS BD FD FDTN FF FF EL FF INSUL FGL FHP FIN FIXT FLEX FLG FLT FLMT FLR FOC FOM FR FRMG FS FT G GFCI GFGI GFRG GLZ GMF GR FL GS GYP BD H HDW HDWD HMD HORIZ HT I IBC INSUL INT J JAN K KPD KIT KPL KO L LAM LAV LBP LBS LCC LF LIN LVR M M MATL MAX MECH MECH RM MEMB MFR MGMT MID MIN MISC MO MTL N N NA NAR NIC NO NOM NP NTS O OC OFD OFF OPNG OPP OPR ORD ORIG P PCC PCT PERF PERIM PH PL GL PLAM PLBG PLG PLYWD PNL PR PSF PSI PT PTN PWR Q QTY R RB RBR RCP RCR RD RE REF REP REPL REINS REQ REQD RESIL REST RF RFG RG RGZ RLG RM RP RPME RRR S S SBS SCHED SDS SF SGL SHT MTL SH SHTHG SHV SIM SLT SMK SP SP EL SPC SPLG SPT SPTR OBSCURED SPEC SQ SQ IN SQ YD SST ST STC STG STR SW T T TCSS TD TEMP TFF THK TLT TOM TOS TRANS TRTD TS V V VEST VIF W W WD Y YDS PRESSURE TREATED PARTITION POWER QUANTITY RESILIENT BASE RUBBER REFLECTED CEILING PLAN REMOVE, REPAIR, CLEAN, REINSTALL ROOF DRAIN (WITH INTERIOR STORM DRAIN LINE) REMOVE EXISTING PAINT (NO LEAD) REFERENCE REPAIR REPLACE REINSTALL REQUIRE REQUIRED RESILIENT RESTROOM RESILIENT FLOORING ROOFING RUBBER GASKET WEATHERSTRIPPING REGLAZE WINDOW GLASS TO SASH RAILING CORRUGATED/RIBBED METAL WEATHERSTRIPPING REPAINT REPLACE PIECE TO MATCH EXISTING REMOVE, CLEAN, REINSTALL SCUPPER STYRENE BUTADIEN STYRENE SCHEDULE SCUPPER AND DOWNSPOUT SQUARE FOOT (FEET) SINGLE SHEET METAL (FLASHING) SINGLE HUNG SHEATHING SHELVING SIMILAR SEALANT WEATHERSTRIPPING SMOKE SPRING FORMED METAL WEATHERSTRIPPING SPOT ELEVATION SINGLE PANE COLORED GLAZING SINGLE PANE LEADED GLAZING SINGLE PANE TRANSPARENT GLAZING SINGLE PANE OPAQUE / TEXTURE GLAZING SPECIFICATION SQUARE SQUARE INCH SQUARE YARD STAINLESS STEEL STAIRS STORAGE CLOSET STORAGE STAIR SIDEWALK TAYLOE HOUSE TERNE COAT STAINLESS STEEL TRENCH DRAIN TEMPORARY TOP OF FINISH FLOOR THICKNESS TOILET TOP OF MASONRY TOP OF SLAB TRANSOM TREATED THRU-WALL SCUPPER VENT VESTIBULE VERIFY IN FIELD WINDOW WOOD YARDS INTERIOR ELEVATION MARK DETAIL NUMBER A101 SHEET NUMBER WHERE ELEVATION / DETAIL IS DRAWN EXTERIOR ELEVATION MARK DETAIL NUMBER A101 SHEET NUMBER WHERE ELEVATION / DETAIL IS DRAWN SECTION MARK DETAIL NUMBER 1 A-108/A-102 DRAWING TO DRAWING FROM DETAIL PLAN MARK DETAIL NUMBER 1 A-101 SHEET NUMBER WHERE SECTION / DETAIL IS DRAWN NORTH ARROW LIMITS OF WORK CW101 WINDOW TAG CDB01 DOOR TAG MDS01 DOWNSPOUT TAG R-# ROOF TYPE PROPERTY LINE	1. DO NOT SCALE DRAWINGS. 2. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK. 3. ALL WORK ON THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS. 4. THE DRAWINGS HAVE BEEN DEVELOPED THROUGH USE OF EXISTING BUILDING DRAWINGS AND FIELD OBSERVATION. BEFORE STARTING WORK, REVIEW EXISTING BUILDING CONDITIONS, AND DRAWINGS. IMMEDIATELY BRING ANY CONDITION CHANGE OR INFORMATION FOUND TO BE DIFFERENT THAN SHOWN TO THE ATTENTION OF THE COR. 5. DO NOT STACK MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS. 6. FULLY COORDINATE ALL WORK BETWEEN TRADES AND SUBCONTRACTORS. 7. MAINTAIN EGRESS PATHS THROUGH BUILDING AT ALL TIMES THE BUILDING IS OCCUPIED. 8. PERFORM NO ON-SITE DEMOLITION WORK UNTIL ALL SUBMITTALS PERTINANT TO THE ITEMS TO BE DEMOLISHED HAS BEEN SUBMITTED AND APPROVED. 9. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS BEYOND THOSE IDENTIFIED IN THIS SET WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINED HAZARDOUS MATERIALS ARE ENCOUNTERED DURING THE WORK, STOP WORK IMMEDIATELY AND NOTIFY COR. 10. REFER TO THE HAZARDOUS MATERIALS NOTES ON COVER SHEET, G-001, TO IDENTIFY ALL DEMOLITION WORK INVOLVING HANDLING HAZARDOUS MATERIALS 11. COORDINATE LAYDOWN AND STAGING AREAS WITH COR. DEFINITIONS A. DISMANTLE: DISASSEMBLE OR DETACH A HISTORIC ITEM FROM A SURFACE OR A NONHISTORIC ITEM FROM A HISTORIC SURFACE; USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO HISTORIC ITEMS AND SURFACES; DISPOSE OF ITEMS UNLESS INDICATED TO BE SALVAGED OR REINSTALLED. B. EXISTING TO REMAIN: EXISTING ITEMS THAT ARE NOT TO BE REMOVED OR DISMANTLED; EXCEPT TO THE DEGREE INDICATED FOR PERFORMING REQUIRED WORK. C. REMOVE: TAKE DOWN OR DETACH A NONHISTORIC FINISH OR ITEM LOCATED WITHIN A HISTORIC SPACE AREA OR ROOM, USING METHODS AND EQUIPMENT TO PREVENT DAMAGE TO HISTORIC ITEMS AND SURFACES; DISPOSING OF ITEMS UNLESS INDICATED TO BE SALVAGED OR REINSTALLED. D. REINSTALL: PROTECT REMOVED OR DISMANTLED ITEMS AND ASSEMBLE AND ERECT, COMPLETE AND READY FOR INTENDED USE E. RETAIN: KEEP AN ELEMENT OR DETAIL SECURE AND INTACT. F. SALVAGE: PROTECT REMOVED OR DIMANTLED ITEMS AND DELIVER THEM TO THE GOVERNMENT. G. FURNISH: SUPPLY, DELIVER TO PROJECT SITE, AND UNLOAD. H. INSTALL: UNLOAD, ASSEMBLE, AND ERECT, COMPLETE AND READY FOR THE INTENDED USE. I. PROVIDE: FURNISH AND INSTALL, COMPLETE IN PLACE AND READY FOR FULL USE. J. RECYCLE: DETACH ITEM FROM EXISTING CONSTRUCTION AND DISPOSE OF IT AT APPROVED COLLECTION SITE. DO NOT REUSE ON-SITE UNLESS SPECIFICALLY DIRECTED TO DO SO.	GENERAL SERVICES ADMINISTRATION MADISON HOUSE, COSMOS CLUB, & TAYLOE HOUSE 717 MADISON PLACE, NW WASHINGTON, DC 20005-7700 architrave p.c. architects 420 10th ST. S.E. Washington D.C. 20003 202-544-1640 architect architrave p.c. architects 420 10th ST. S.E. Washington D.C. 20003 202-544-1640 ARCHITECT ARCHITECT ARCHITECT</			

1. DO NOT SCALE DRAWINGS.

2. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.

3. ALL WORK ON THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS.

4. THE DRAWINGS HAVE BEEN DEVELOPED THROUGH USE OF EXISTING BUILDING DRAWINGS AND FIELD OBSERVATION. BEFORE STARTING WORK, REVIEW EXISTING BUILDING CONDITIONS, AND DRAWINGS. IMMEDIATELY BRING ANY CONDITION CHANGE OR INFORMATION FOUND TO BE DIFFERENT THAN SHOWN TO THE ATTENTION OF THE COR.

5. DO NOT STACK MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS.

6. FULLY COORDINATE ALL WORK BETWEEN TRADES AND SUBCONTRACTORS.

7. MAINTAIN EGRESS PATHS THROUGH BUILDING AT ALL TIMES THE BUILDING IS OCCUPIED.

8. PERFORM NO ON-SITE DEMOLITION WORK UNTIL ALL SUBMITTALS PERTINANT TO THE ITEMS TO BE DEMOLISHED HAS BEEN SUBMITTED AND APPROVED.

9. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS BEYOND THOSE IDENTIFIED IN THIS SET WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINED HAZARDOUS MATERIALS ARE ENCOUNTERED DURING THE WORK, STOP WORK IMMEDIATELY AND NOTIFY COR.

10. REFER TO THE HAZARDOUS MATERIALS NOTES ON COVER SHEET, G-001, TO IDENTIFY ALL DEMOLITION WORK INVOLVING HANDLING HAZARDOUS MATERIALS

11. COORDINATE LAYDOWN AND STAGING AREAS WITH COR.

DEFINITIONS

A. DISMANTLE: DISASSEMBLE OR DETACH A HISTORIC ITEM FROM A SURFACE OR A NONHISTORIC ITEM FROM A HISTORIC SURFACE; USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO HISTORIC ITEMS AND SURFACES; DISPOSE OF ITEMS UNLESS INDICATED TO BE SALVAGED OR REINSTALLED.

B. EXISTING TO REMAIN: EXISTING ITEMS THAT ARE NOT TO BE REMOVED OR DISMANTLED; EXCEPT TO THE DEGREE INDICATED FOR PERFORMING REQUIRED WORK.

C. REMOVE: TAKE DOWN OR DETACH A NONHISTORIC FINISH OR ITEM LOCATED WITHIN A HISTORIC SPACE AREA OR ROOM, USING METHODS AND EQUIPMENT TO PREVENT DAMAGE TO HISTORIC ITEMS AND SURFACES; DISPOSING OF ITEMS UNLESS INDICATED TO BE SALVAGED OR REINSTALLED.

D. REINSTALL: PROTECT REMOVED OR DISMANTLED ITEMS AND ASSEMBLE AND ERECT, COMPLETE AND READY FOR INTENDED USE

E. RETAIN: KEEP AN ELEMENT OR DETAIL SECURE AND INTACT.

F. SALVAGE: PROTECT REMOVED OR DIMANTLED ITEMS AND DELIVER THEM TO THE GOVERNMENT.

G. FURNISH: SUPPLY, DELIVER TO PROJECT SITE, AND UNLOAD.

H. INSTALL: UNLOAD, ASSEMBLE, AND ERECT, COMPLETE AND READY FOR THE INTENDED USE.

I. PROVIDE: FURNISH AND INSTALL, COMPLETE IN PLACE AND READY FOR FULL USE.

J. RECYCLE: DETACH ITEM FROM EXISTING CONSTRUCTION AND DISPOSE OF IT AT APPROVED COLLECTION SITE. DO NOT REUSE ON-SITE UNLESS SPECIFICALLY DIRECTED TO DO SO.

LEGEND

OUT OF SCOPE

EXISTING WALLS

REMOVE AND REINSTALL

DISMANTLE AND REMOVE

STEEL PICKET FENCE

EGRESS PATH

CONTRACTOR LAYDOWN

MATERIAL LEGEND

STUCCO

MORTAR

INSULATION

LIMESTONE

BRICK - ELEVATION

BRICK - SECTION

CMU

WOOD

SITE SUMMARY

PROJECT INFORMATION

- PROJECT NAME: HISTORIC TOWNHOUSES ENVELOPE REPAIRS

- ADDRESS: 717 MADISON PLACE, NW DC 20005-7700

GENERAL BUILDING LIMITATIONS

- PENTHOUSE AND ROOF STRUCTURE: YES

APPLICABLE CODES

- PBS P100 October 2021

- PBS P120, Public Buildings Service Cost and Schedule Management Policy Requirements

- Secretary of the Interior's Standards for the Treatment of Historic Properties

- ADM 1022.3 GSA Procedures for Historic Properties

- 2021 International Building Code Council (IBC)

- 2021 International Existing Building Code (IEBC)

- 2021 NFPA Life Safety Code (NPFA 101)

- 2021 International Fire Code (IFC)

- 2021 International Plumbing Code (IPC)

- 2021 ICC Codes

- 2020 National Electrical Code NFPA 70

- 2015 ABAAS (Architectural Barriers Act - Accessibility Standards)

FIRE PROTECTION SYSTEMS

- FIRE EXTINGUISHING SYSTEM: YES

- STANDPIPE SYSTEM: NO

- SMOKE CONTROL: NO CLASS: 1

- SPRINKLER SYSTEM: YES

TYPE OF CONSTRUCTION

CONSTRUCTION TYPE: TYPE 1B

BUILDING PLANNING

OCCUPANCY: GROUP B, GROUP S1, GROUP U

MIXED OCCUPANCY? YES

REQUIRED FIRE SEPARATION: 6"

CONTRACTORS

PRIME CONTR. NO.

47PF0019D0048

PRIME ORDER NO.

CONST. CONTR. NO.

A/E

architrave p.c. architects

SUB A/E

McMullan & Associates

CONST. CONTR.

BUILDING

BUILDING NUMBER

DC0111ZZ, DC0112ZZ, DC0113ZZ

BUILDING NAME

MADISON HOUSE, COSMOS CLUB, & TAYLOE HOUSE

ADDRESS

717 MADISON PLACE NW

WASHINGTON, DC 20005

CITY/ST./ZIP

BIM FILE NAME

DC0111ZZ_B1-03_A_22

PROJECT IDENTIFICATION

PROJECT TITLE

HISTORIC TOWNHOUSES ENVELOPE REPAIRS

PROJECT DESCRIPTION

PRESERVATION AND MINOR REHABILITATION

GSA PM

BRIAN KEEFER

PROJECT NUMBER

RDC04752, RDC04736, RDC04732

SUBMISSION STAGE

FINAL CD SUBMISSION (100%)

SUBMISSION DATE

1/24/25

SHEET IDENTIFICATION

DRAWN BY

TS

DATE DRAWN:

07/21/23

CHECKED BY

RLS.MR

SHEET SIZE:

24 X 36

FLOOR NUMBER

N/A

DISCIPLINE

ARCHITECTURAL

SHEET TITLE

NOTES & ABBREVIATIONS

SHEET NUMBER

A-001

SHEET 12 OF 45 SHEETS

WORK CODES

DEMOLITION

0201	DISMANTLE RUBBERIZED TRANSITION THRESHOLD TO RAISED PATIO
0202	DISMANTLE EXIST. TERNE COAT STAINLESS STEEL COPING
0203	REMOVE AND REINSTALL EXIST ROOF DRAIN COVER
0204	DISMANTLE AND SALVAGE WALL BRICKS
0206	DISMANTLE AND SALVAGE BRICK PAVERS
0206A	REMOVE PRECAST CONCRETE PAVERS FOR REINSTALLATION
0207	ABATE ACM ON GYPSUM BOARD CEILING. DISMANTLE GYPSUM BOARD CEILING THROUGHOUT THE FIFTH FLOOR
0207A	DISMANTLE METAL LATH AND PLASTER CEILINGS BETWEEN THE (REMOVED) GYPSUM BOARD CEILING AND THE TERRA COTTA ROOFING SYSTEM ALONG THE NORTH AND SOUTH WALLS AND AT THE BEAM LOCATIONS ON THE WEST WALL TO ACCOMMODATE STRUCTURAL WORK
0208	DISMANTLE BRICK PARAPET AND PRECAST CONCRETE/LIMESTONE COPING. SEE 1/S202 DRAWINGS FOR EXTENT OF WORK. SALVAGE BRICK AND COPING FOR REINSTALLATION
0208A	DISMANTLE LIMESTONE BALLUSTRADE AND COPING STONES. SEE 1/S202 DRAWINGS FOR EXTENT OF WORK. SALVAGE LIMESTONE FOR REUSE
0208B	DISMANTLE LIMESTONE CORNICE. SEE a/S202 DRAWINGS FOR EXTENT OF WORK. SALVAGE LIMESTONE FOR REINSTALLATION
0209	REMOVE PRECAST CONCRETE CHIMNEY CAPS
0211	DISMANTLE AND SALVAGE GRANITE PAVERS FOR REINSTALLATION
0213	REMOVE COUNTERFLASHING AND FASTENERS
0214	DISMANTLE CEMENT BASED STUCCO WITH LBP ENCAPSULATED IN THE STUCCO LAYERS AND PROVIDE ACCESS AND TWO WEEKS TIME FOR COR TO EVALUATE CONDITION OF MASONRY
0215	REMOVE SBS ROOFING TO SUBSTRATE INCLUDING FLASHING
0217	DISMANTLE PRECAST STONE THRESHOLD
0218	DISMANTLE WROUGHT IRON BALCONY, ABATE LBP, RESTORE OFF-SITE (WIR-2), AND REINSTALL TO MATCH EXISTING CONDITIONS
0219	ABATE LBP FROM BRICK - FULL FACADE
0219A	ABATE LBP FROM CAST IRON SURFACES ON CORNICE AND BRACKETS
0219B	ABATE LBP FROM METAL SURFACES ON CORNICE AND BRACKETS, COPING, GUTTERS, AND DOWNSPOUT CONDUCTOR HEADS
0221	DISMANTLE/ABATE LBP SHUTTERS ON ALL WINDOWS AND DOORS
0222	ABATE LBP FROM WOOD TRIM ALL EXPOSED SIDES
0223	ABATE LBP FROM WOOD LOUVERED VENT, TRIM WORK AND PEDIMENT
0224	ABATE LBP FROM EXTERIOR WOOD CEILING

CONCRETE

0304 PROVIDE PRECAST CONCRETE CAP TO MATCH EXISTING, APPROXIMATELY 28" X 66" VIF
0305 REINSTALL PRECASE CONCRETE PAVERS FOR ACCESS TO HVAC EQUIPMENT

MASONRY

0401	REINSTALL PARAPETS USING SALVAGED BRICK AND PARAPET CAPS
0401A	REINSTALL BALLUSTRADE AND COPING STONES WITH SALVAGED LIMESTONE MATERIAL. SEE 2/S202 DWGS FOR EXTENT OF WORK
0401B	REINSTALL CORNICE AND SOFFIT WITH SALVAGED LIMESTONE
0402	REINSTALL BRICK PAVERS SALVAGED MATERIAL TO CREATE AN ABA COMPLIANT THRESHOLD
0403	REPAIR BRICK
0404	REMOVE AND REINSTALL OUTER WYTHE OF BRICK - SEE 6/S501
0405	REINSTALL GRANITE PAVERS SALVAGED MATERIAL TO CREATE AN ABA-COMPLIANT THRESHOLD AND RAMP
0406	REPLACE MISSING BRACKET ON CORNICE SOFFIT. CREATE REPLICA OF ADJACENT BRACKETS.
0407	REPAIR MASONRY AT CONNECTION WITH WROUGHT IRON BALCONY
0408	PATCH LIMESTONE BALUSTER WITH CRACK
0409	REPOINT BRICK FROM CORNER TO CORNER EDGE TO EDGE
0410	REPOINT MORTAR ON GRANITE STAIR
0412	REINSTALL SALVAGED WALL BRICK

METALS

0502 RESTORE WROUGHT IRON BALCONY. REMOVE TOP RAILS AND PROVIDE NEW TOP RAILS TO MATCH EXISTING IN PROFILE, DIMENSIONS, AND COMPOSITION. PROVIDE FULLY WELDED JOINTS. REPLACE OTHER PIECES TOO CORRODED TO REPAIR.

0503 ROUTE NEW LEAD-COATED COPPER OUTLET TUBE THROUGH EXISTING GUTTER, PROVIDE NEW DOWNSPOUT AND SPLASH GUARD. SEE DETAIL 3/A-506.

0506 PROVIDE TIN/ZINC COATED COPPER COPING

WOOD AND PLASTICS

0601 CONSERVE WOOD PANEL TO REPAIR CRACK IN PANEL
0602 REPAIR FULL LENGTH OF FASCIA ALONG EXIST. GUTTER.
0603 PRESERVE WOOD TRIM AND ARCHITECTURAL ELEMENTS ON DORMERS (6 TYP). USE EPOXY
FILLERS FOR DETERIORATED AREA LESS THAN 4 CUBIC INCHES (CI), DUTCHMAN REPAIRS
FOR DETERIORATED AREAS BETWEEN 4 CI AND 12 CI. REPLACE WOOD MOUNDING/TRIM FOR
PIECES OVER 50% DETERIORATED.

THERMAL AND MOISTURE PROTECTION

0701	PROVIDE SLATE SHINGLES TO MATCH EXISTING TYPE AND SIZE FOR EACH BUILDING WHERE MISSING, CHIPPED, OR BROKEN. ASSUME 10% REPLACEMENT. SEE DETAIL 3/A-505.
0702	SECURE LOOSE SLATE SHINGLES ON MAIN AND DORMER ROOFS WITH STAINLESS STEEL SLATE HOOK. ASSUME 10% REATTACHMENT. SEE DETAIL ON 3/A-505
0703	REMOVE CANVAS AWNING AND STEEL SUPPORT FRAMING AT RAISED PATIO. REINSTALL AT COMPLETION OF WORK IN THE AREA.
0704	NOT USED
0705	PROVIDE COPPER FLASHING TO MATCH FLASHING MATERIAL REMOVED
0706	ENSURE FUNCTIONAL DRAINAGE SYSTEM. 1. BEFORE CONSTRUCTION REMOVE BLOCKAGES IN CONNECTOR HEADS, AND ALONG EIGHT FEET OF UNDERGROUND/LATERAL STORM DRAIN LINES. REMOVE BLOCKAGES IN INTERIOR DRAIN LINES FROM COSMOS ROOF TO LATERAL STORM DRAIN PIPELINES AT THE BASEMENT SLAB. 2. BEFORE CONSTRUCTION - VIDEO AND DOCUMENT CONDITIONS OF CONNECTOR HEADS, DOWNSPOUTS, AND UNDERGROUND LINES AND SUBMIT GRAPHIC AND WRITTEN ANALYSIS OF FINDINGS ALONG WITH RECOMMENDATIONS FOR DOWNSPOUTS TO BE REPAIRED/REINSTALLED, OR PROVIDED NEW. 3. DURING CONSTRUCTION PROTECT ROOF DRAINAGE SYSTEM PIPING. AVOID CLOGGING WITH DIRT OR DEBRIS. 4. UPON COMPLETION OF CONSTRUCTION MATCH THE PRECONSTRUCTION CONDITIONS OF THE ROOF DRAINAGE SYSTEM. MAKING SURE ALL DOWNSPOUTS, CONDUCTOR HEADS, CLEANOUTS, AND UNDERGROUND/ LATERAL LINES ARE UNOBSTRUCTED. RESCOPE AND REMOVE BLOCKAGES AS NECESSARY.
0706A	REMOVE DOWNSPOUT(S) FOR LBP ABATEMENT, STUCCO WORK (WHERE SPECIFIED), REPOINTING, AND PAINTING. PROVIDE TEMPORARY WATER DRAINAGE SYSTEM DURING WORK. REINSTALL REPAIRED DOWNSPOUT
0706B	PROVIDE CLEANOUT AT THE GRADE
0706C	PROVIDE CLEANOUTS (2) ON RAISED PATIO AT TRANSITION FROM DOWNSPOUT TO UNDERGROUND STORM LINE
0706D	REMOVE RETANGULAR DOWNSPOUT. PROVIDE TEMPORARY WATER DRAINAGE SYSTEM DURING WORK. PROVIDE ROUND DOWNSPOUT TIZ/INC COATED COPPER SIZED TO HANDLE DRAINAGE FROM BRANCH LINES. CONNECT BRANCH LINES TO NEW DOWNSPOUT. ENSURE A FUNCTIONAL DRAINAGE FLOW. PAINT TO MATCH WALL COLOR.
0706F	PROVIDE CLEANOUT ON LATERAL DOWNSPOUT LINE BEFORE IT ENTERS THE BUILDING
0706G	RETAIN CONDUCTOR HEAD. CHECK FOR AND REPAIR ANY OPEN JOINTS/HOLES. REMOVE LBP PAINT, PRIME, AND PAINT.
0706H	PROVIDE OVERFLOW SPLASH GUARD ON GUTTER. SEE DETAIL 8/A505.
0706I	RETAIN SCUPPER, CONDUCTOR HEAD AND DOWNSPOUT.
0706J	REMOVE EXISTING ROOF DRAIN BODY AND DOME
0706K	PROVIDE CAST IRON ROOF DRAIN. TIE INTO EXISTING STORM DRAIN LINES AS PART OF THE INSTALLATION OF NEW MEMBRANE ROOFING.
0706L	PROVIDE OVERFLOW THRU-WALL SCUPPER. SEE DETAIL 5/A506
0706M	ASSURE AN UNOBSTRUCTED DRAINAGE FLOW FROM ROOF DRAIN THROUGH INTERIOR DRAIN LINES
0707	PROVIDE COPPER COUNTERFLASHING. SEE DETAIL 4/A-506
0708	PROVIDE A HOT RUBBERIZED ASPHALT MEMBRANE ROOF ASSEMBLY INCLUDING INSULATION AND BALLAST

DOORS AND WINDOWS

0800 NO WORK

0801 REMOVE AND REINSTALL STORM WINDOW AND SUPPORT TRACKS.

0802 DISMANTLE SASH FROM FRAME FOR REPAIR OFF SITE. INSTALL TEMPORARY WINDOW.

0802A DISMANTLE HARDWARE FROM WINDOW AND DOOR

0802B DISMANTLE DOOR FROM FRAME FOR REPAIR OFF SITE. INSTALL TEMPORARY DOOR.

0803 REMOVE LBP FROM IN SITU WINDOW / DOOR JAMBS, SILLS, HEADERS, SASH / LEAF. PRIME AND PAINT IN SITU WINDOW / DOOR JAMBS, SILLS, HEADERS, SASH / LEAF.

0803A REMOVE LBP FROM IN SITU MASONRY AND WOOD SILLS AND LINTELS. PRIME AND PAINT IN SITU MASONRY AND WOOD SILLS AND LINTELS.

0803B REMOVE LBP FROM OVERPAINTED WINDOW/DOOR.

0803C REHABILITATE: REMOVE FAILED COATINGS, PREPARE SURFACE, AND APPLY PRIMER AND TOP COATS.

0804 PROVIDE PRESERVATIVE AND FILL WEATHER-CHECKED WINDOW SASH WITH EPOXY OR REPAIR WITH WOOD DUTCHMAN (SEE DETAILS ON A-500)

0804A PROVIDE PRESERVATIVE AND FILL WEATHER-CHECKED SILL WITH EPOXY OR REPAIR WITH WOOD DUTCHMAN (SEE DETAILS ON A-500) .

0804B PROVIDE PRESERVATIVE AND FILL WEATHER-CHECKED AND ROTTED JAMBS WITH EPOXY OR REPAIR WITH WOOD DUTCHMAN (SEE DETAILS ON A-500).

0804C PROVIDE PRESERVATIVE AND FILL WEATHER-CHECKED AND ROTTED HEADER WITH EPOXY OR REPAIR WITH WOOD DUTCHMAN (SEE DETAILS ON A-500).

0804D PROVIDE PRESERVATIVE AND FILL WEATHER-CHECKED AND ROTTED PANEL(S) WITH EPOXY OR REPAIR WITH WOOD DUTCHMAN (SEE DETAILS ON A-500).

0805 PROVIDE NEW WOOD SILL TO MATCH ORIGINAL CONFIGURATION AND ASSEMBLY.

0806 REMOVE ASBESTOS GLAZING PUTTY FROM THE GLASS PANELS. PRIME, PAINT, & RE-GLAZE WINDOW SASH.

0806A REPLACE CRACKED GLASS.

0807 REMOVE TEMPORARY WINDOW AND INSTALL NEW WINDOW FRAME, JAMB, HEADER, SILL, AND SASH TO MATCH EXISTING.

0808 REMOVE TEMPORARY WINDOW AND REINSTALL SASH IN REPAIRED, PRIMED AND PAINTED FRAMES, LINTELS, AND SILLS.

0809 REMOVE EXISTING WEATHERSTRIPPING (IF PRESENT) AND PROVIDE STAINLESS STEEL WEATHERSTRIPPING TO MATCH EXISTING TYPE.

0810 HARDWARE MISSING OR DETERIORATED. PROVIDE NEW HARDWARE TO MATCH EXISTING MATERIAL, TYPE, STYLE, AND FINISH.

0811 CLEAN EXISTING HARDWARE AND REINSTALL IN THE SAME LOCATION.

0812 REPAIR MASONRY LINTEL. SEE S501 FOR DETAILS.

0813 REMOVE AND REINSTALL DOOR AND FRAME TO CHANGE SWING DIRECTION TO PROVIDE AN ABA COMPLIANT ENTRANCE

0815 DISMANTLE, CLEAN, AND REINSTALL DOOR HARDWARE

0816 DISMANTLE STONE THRESHOLD, PROVIDE ABA COMPLIANT THRESHOLD

0818 REPAIR LEADED WINDOWS AND DOORS IN THE BAY EXTENSION.

0819 REPAIR TAYLOE'S WOOD DORMER VENTS. (LBP ABATEMENT, REPAIR CLASSICAL TRIMWORK AND FRAMING, PRIME AND PAINT.)

FINISHES

0901	POWERWASH LIME WASHED SURFACES. PROVIDE PRE-WASH MINERAL PAINT FIXATIVE AND MINERAL PAINT
0901A	PREPARE SURFACE AND PAINT MINERAL COATING ON STUCCO
0902	PREPARE, PRIME, AND PAINT LATEX ON EXTERIOR BRICK
0902A	PREPARE, PRIME, AND PAINT WOOD PORCH DECK UPPER AND UNDERSIDES, AND JOISTS - ALL EXPOSED SIDES
0902B	PREPARE, PRIME, AND PAINT WOOD CEILING
0902C	RETAIN DECORATIVE CAST IRON RAILING/BALCONY/BACKET IN PLACE (CIR-1). REMOVE RUST, PRIME, AND PROVIDE NEW PAINT COATING ON ALL SURFACES TO ENCAPSULATE EXISTING TO REMAIN LBP AND TO MATCH EXISTING COLOR.
0902D	REMOVE RUST, ABATE LBP, PRIME, AND PAINT ALL SURFACES OF IRON RAILING AND LADDER TO MATCH THE EXISTING COLOR. TOOL GROUT TO HAVE POSITIVE SLOPE AWAY FROM POST BASE
0902E	PREPARE, PRIME, AND PAINT FERROUS SHEET METAL SURFACE
0902F	PREPARE, PRIME, AND PAINT WOOD SHUTTERS ALL SIDES. REINSTALL.
0902G	PREPARE, PRIME, AND PAINT WOOD MOULDING/ TRIM
0902H	PREPARE, PRIME AND PAINT METAL VENTS TO MATCH EXISTING COLOR
0902I	PRIME AND PAINT DOWNSPOUTS TO MATCH NEW WALL COLOR. (TAYLOE HOUSE WEST FACADE, MATCH EXISTING CONTRASTING COLOR)
0902J	PRIME AND REPAINT METAL AND WOOD CORNICE AND BRACKETS TO MATCH EXISTING COLOR
0902K	PREPARE, PRIME, AND PAINT ALL SURFACES OF WROUGHT IRON BALCONY BEFORE REINSTALLATION, TOUCH-UP AFTER INSTALLATION. MATCH EXISTING COLOR.
0902L	PREPARE, PRIME, AND PAINT ALL SURFACES OF THE STEEL GRILL AND LIGHTWELL COVER BEFORE REINSTALLATION, TOUCH-UP AFTER INSTALLATION. MATCH EXISTING COLOR.
0902M	PREPARE, PRIME, AND PAINT ALL SURFACES OF THE STEEL GRILL COVER BEFORE REINSTALLATION, TOUCH-UP AFTER INSTALLATION. MATCH EXISTING COLOR.
0902N	PREPARE, PRIME, AND PAINT FACADE WITH MINERAL PAINT COATING.
0903	STUCCO WITH LIME-BASED STUCCO AND PROVIDE/PAINT MINERAL COATING
0904	PROVIDE GYPSUM BOARD CEILING WITH COFFERS, CORNICE DETAILING, AND LIGHT TO MATCH EXISTING
0905	PREPARE, PRIME, AND PAINT CAST IRON TO MATCH EXISTING COLOR
SPECIALTIES	PLACE MURAL IN KIND PER GRAPHIC FILE PROVIDED

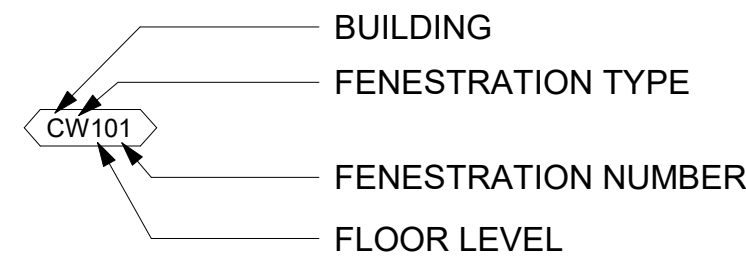
SPECIALTIES

1001	PROVIDE COMPLIANT SAFETY SIGN WARNING OF ACM IN THE ATTIC SPACE PER OSHA REQUIREMENTS, PROMINENTLY DISPLAYED IN READILY VISIBLE LOCATION.
1002	PROVIDE BIRD NETTING UNDER BALCONY ROOF AND DECK

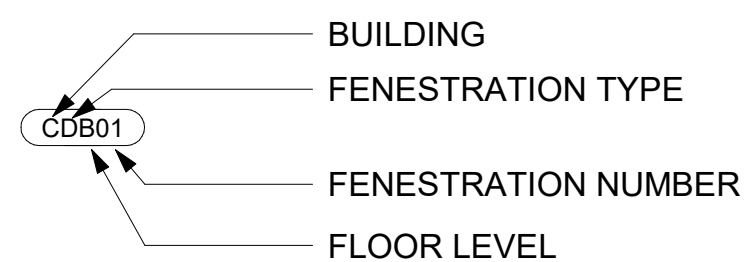
HARDWARE SETS:

1	PULLEY SASH CHORD, 2 SASH LIFTS, 1 THUMB LOCK
2	PULLEY SASH CORD, 2 SASH LIFTS, 2 THUMB LOCKS
3	PULLEY WITH CHAIN, 2 SASH LIFTS, 1 THUMB LOCK
4	PULLEY WITH CHAIN, 2 SASH LIFTS AND 2 THUMB LOCKS
5	SPRING LOADED METAL TAPE, 2 SASH LIFTS AND 2 THUMB LOCKS
6	SPRING LOADED METAL TAPE, 2 THUMB LOCKS
7	HINGES, CASEMENT LATCH, RIM BOLT
8	DOOR - HINGES, CREMONE SET
9	DOOR - 3, 4.5" HINGES; 1 KNOB, 2 BOLTS
10	CHAIN AND PULLEY, 2 THUMBLOCKS AND NO LIFTS
11	SPRING LOADED METAL TAPE, NO SASH LIFT, NO THUMB LOCK
12	CHAIN AND PULLEY, 1 THUMB LOCK, NO LIFTS
13	CHAIN AND PULLEY, 1 THUMBLOCK, 1 LIFT

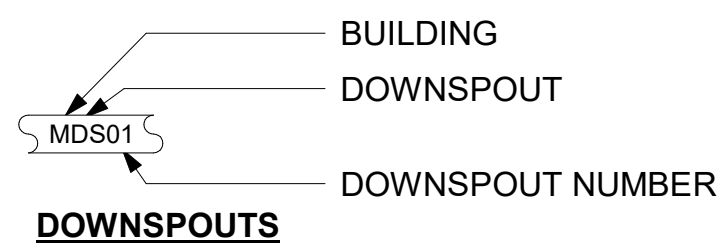
FENESTRATION
NUMBERING EXAMPLE:



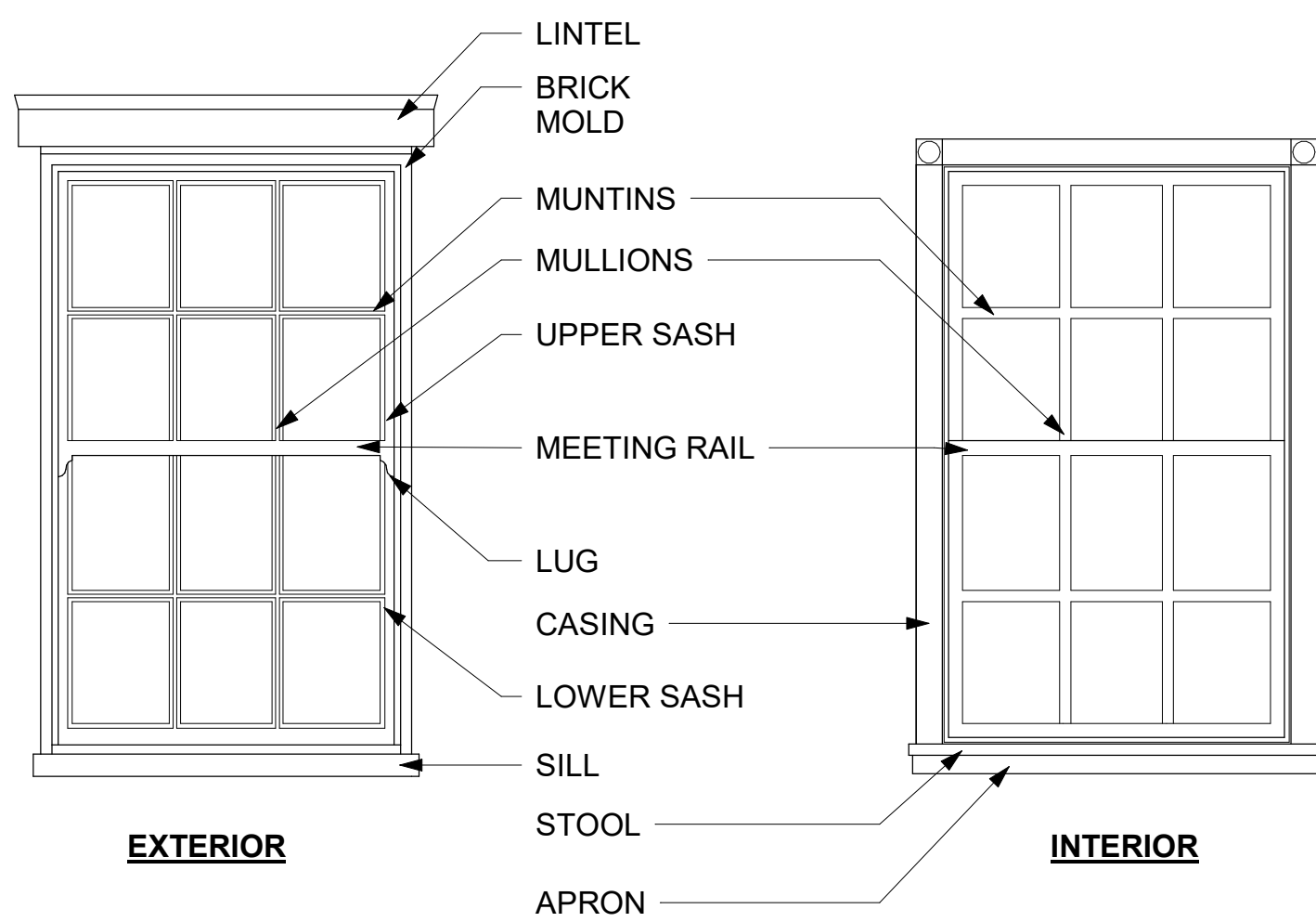
WINDOWS



DOORS



DOUBLE HUNG WINDOW DIAGRAM



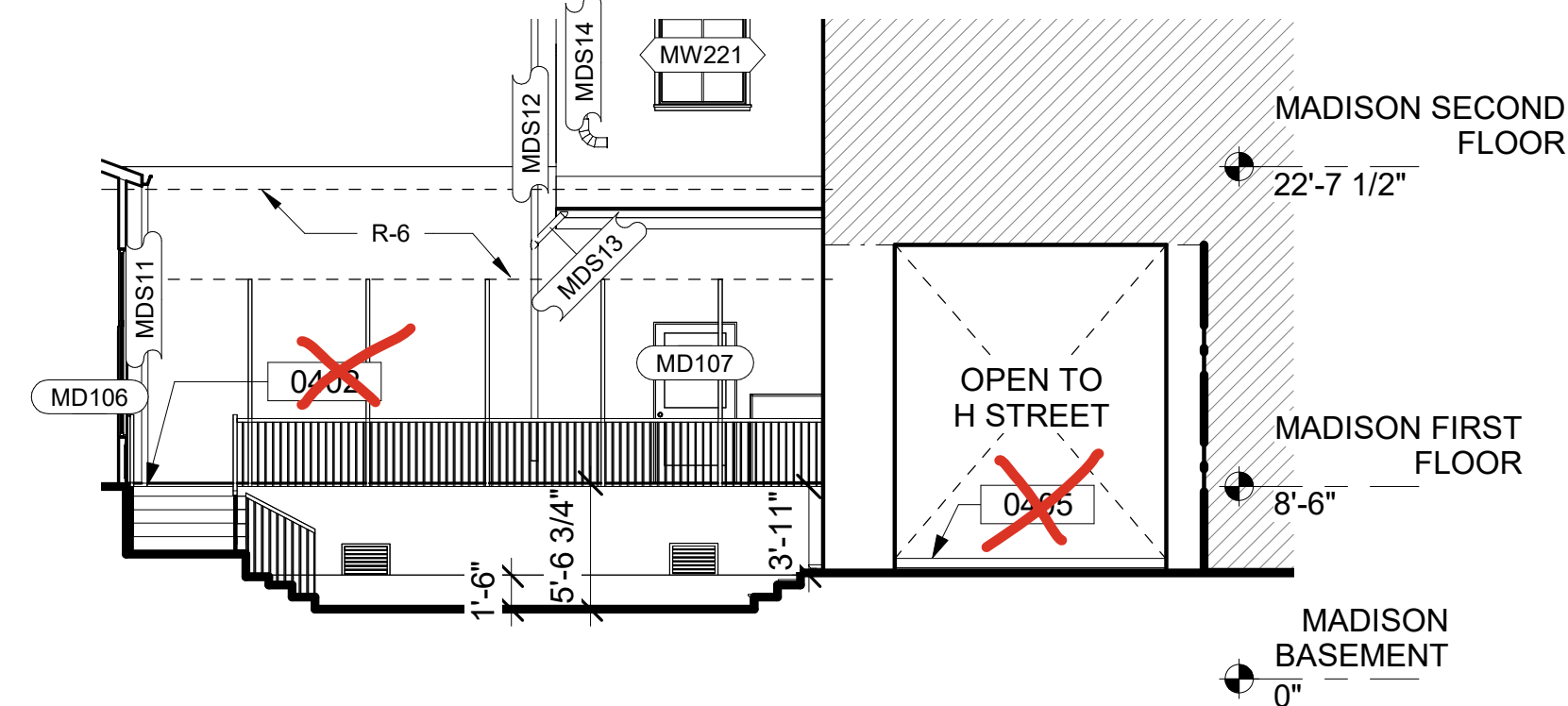


 True North
 Plan North

1. PROTECT ALL VEGETATION AND ART FEATURES
2. TREE LOCATION AND SIZE IS APPROXIMATE, V.I.F.
3. MAINTAIN ALL EXIT DISCHARGES FOR IMMEDIATE USE DURING BUILDING OCCUPANCY

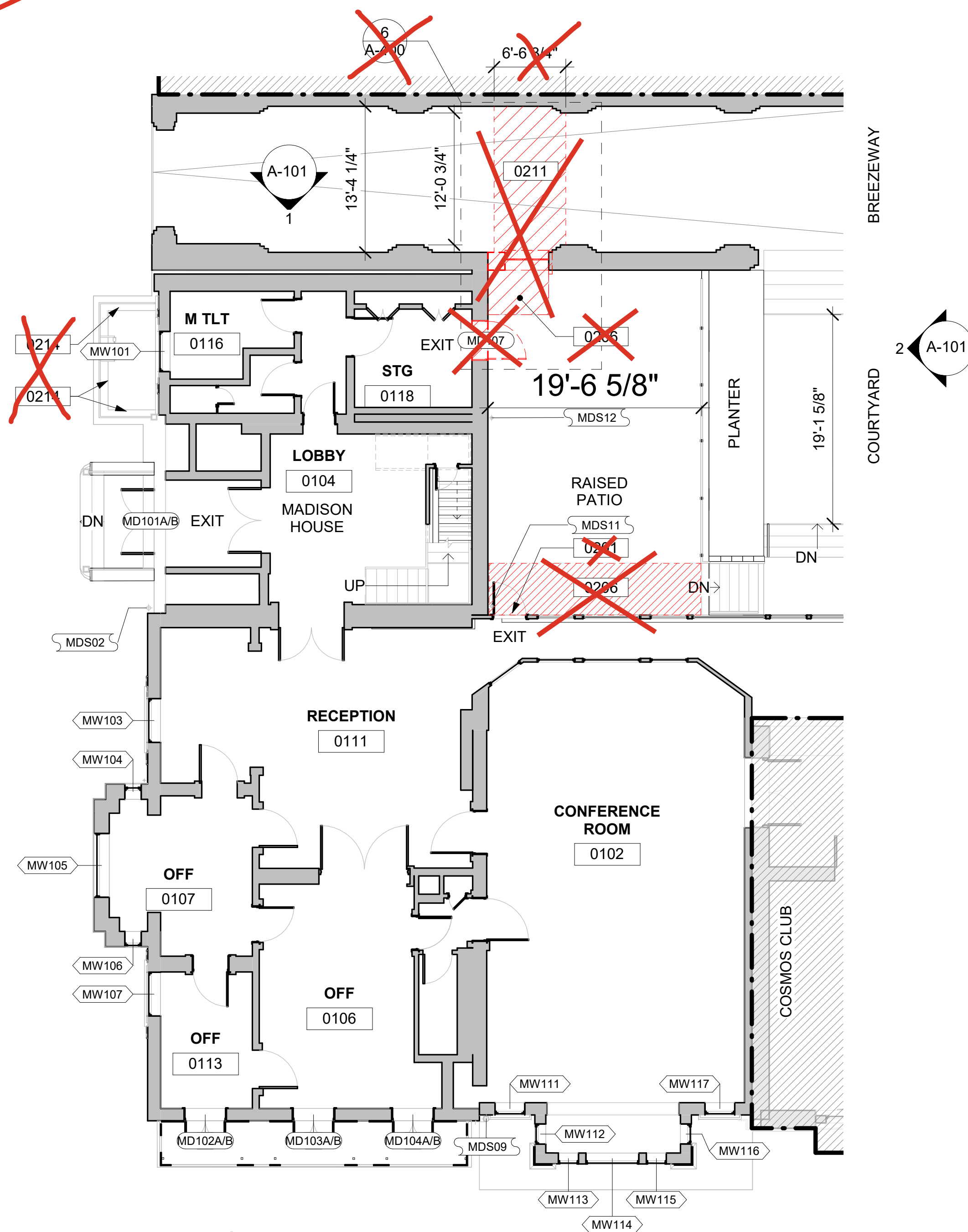
0101	MAINTAIN OR PROVIDE ALTERNATE ROUTE FOR ALL EXIT DISCHARGE LOCATIONS. PROVIDE PROTECTION FROM ANY WORK ABOVE
0151	PROVIDE PROTECTIVE STRUCTURE AROUND ARTWORK DURING CONSTRUCTION

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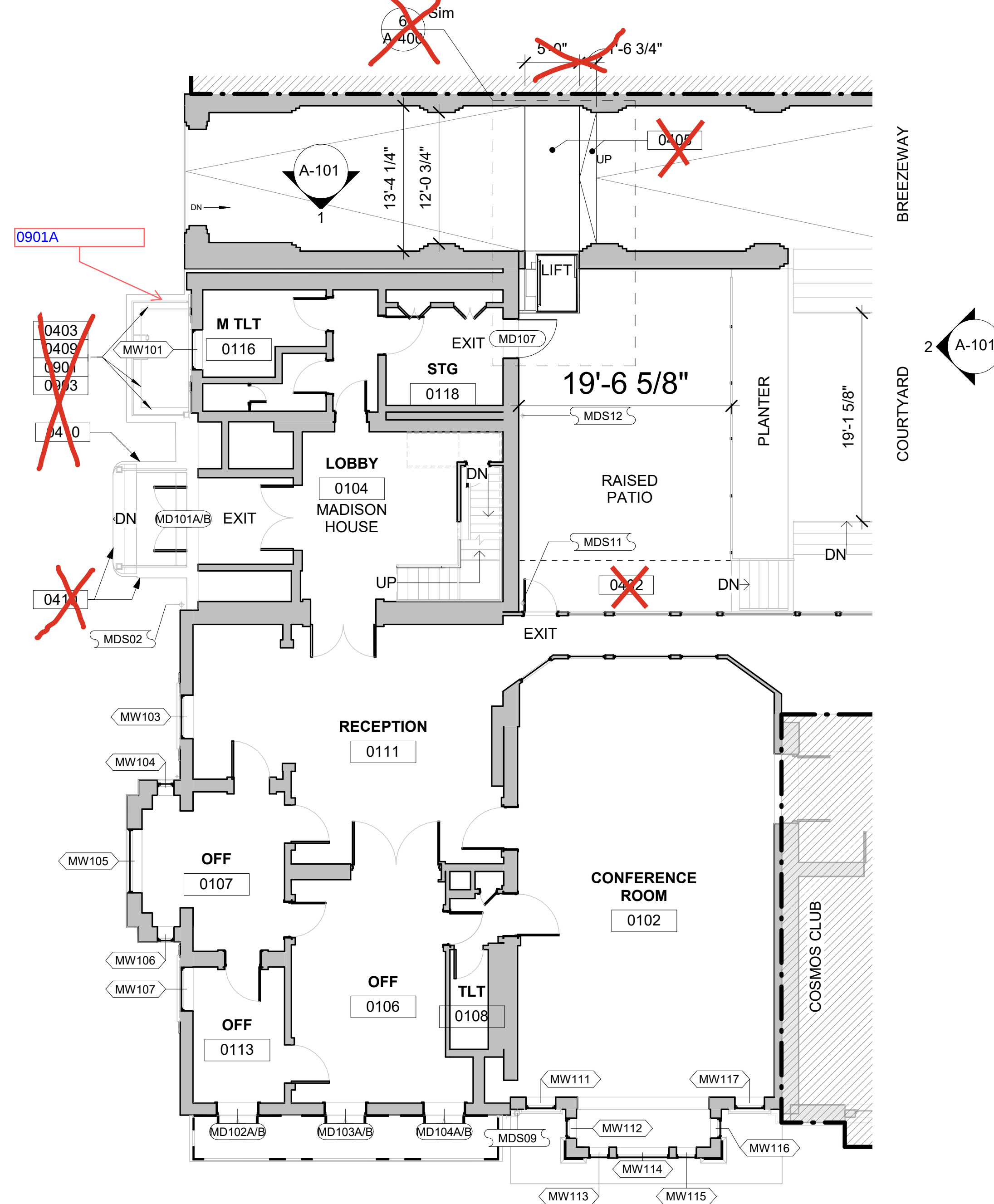


 **BREEZEWAY EAST ELEVATION**
1/8" = 1' 0"

**MADISON HOUSE SOUTH ELEVATION
AT RAISED PATIO**

DEMO

3 MADISON HOUSE COURTYARD AND RAISED PATIO ENLARGED PLAN
A-101 1/8" = 1'-0"



NEW WORK

3 MADISON HOUSE COURTYARD AND RAISED PATIO ENLARGED PLAN
A-101 1/8" = 1'-0"

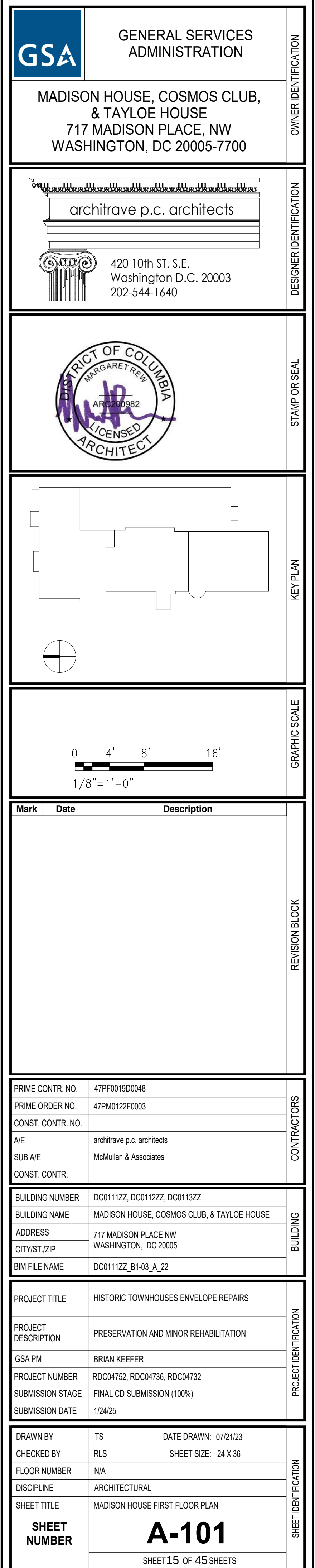
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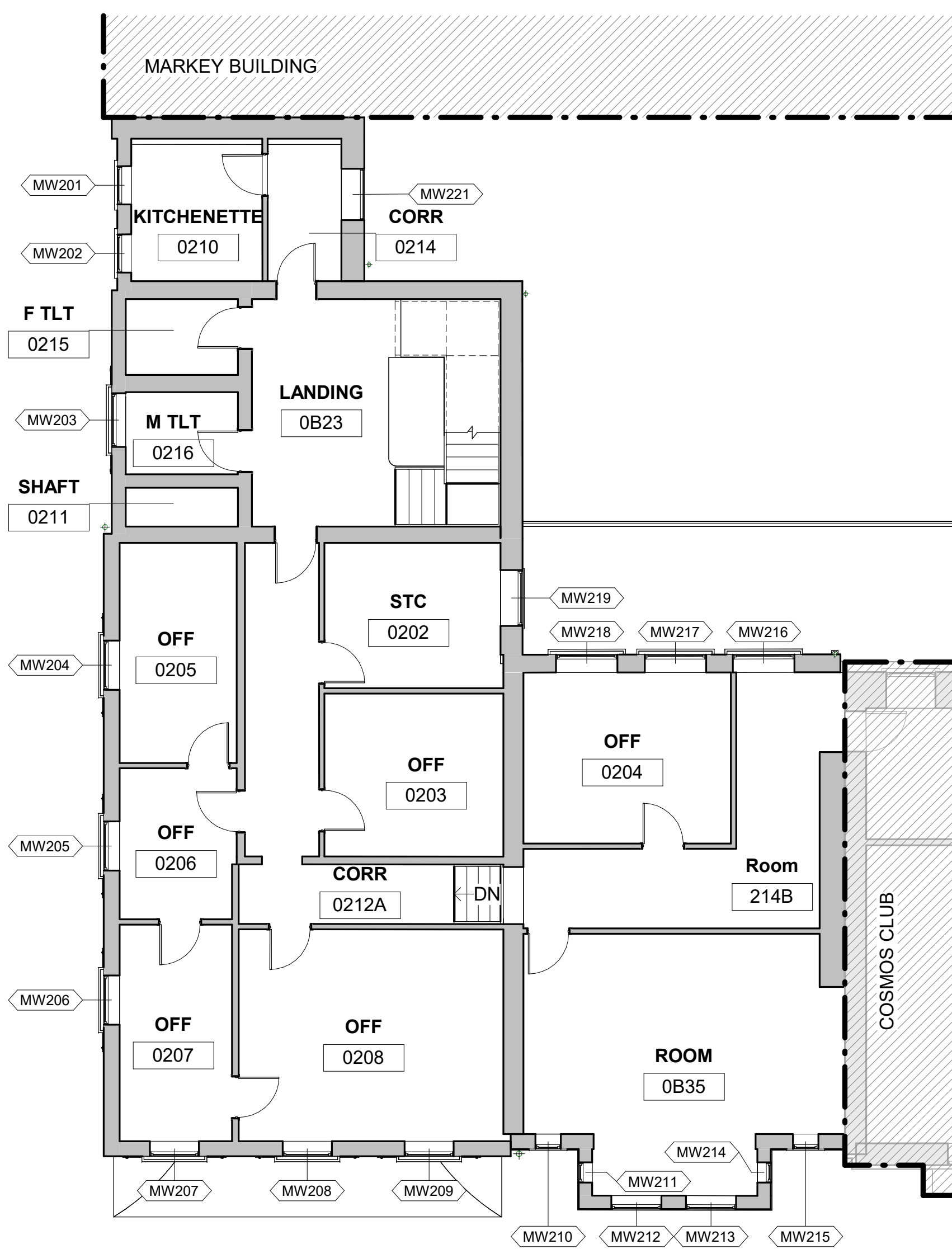
1. ENSURE ALL EXIT DOORS AND EXIT PATHS REMAIN CLEAR DURING AND AFTER WORK.
2. SEE DOWNSPOUT SCHEDULE FOR RELATED WORK CODES
3. SEE WINDOW SCHEDULE FOR RELATED WORK CODES
4. SEE DOOR SCHEDULE FOR RELATED WORK CODES

WORK CODES:

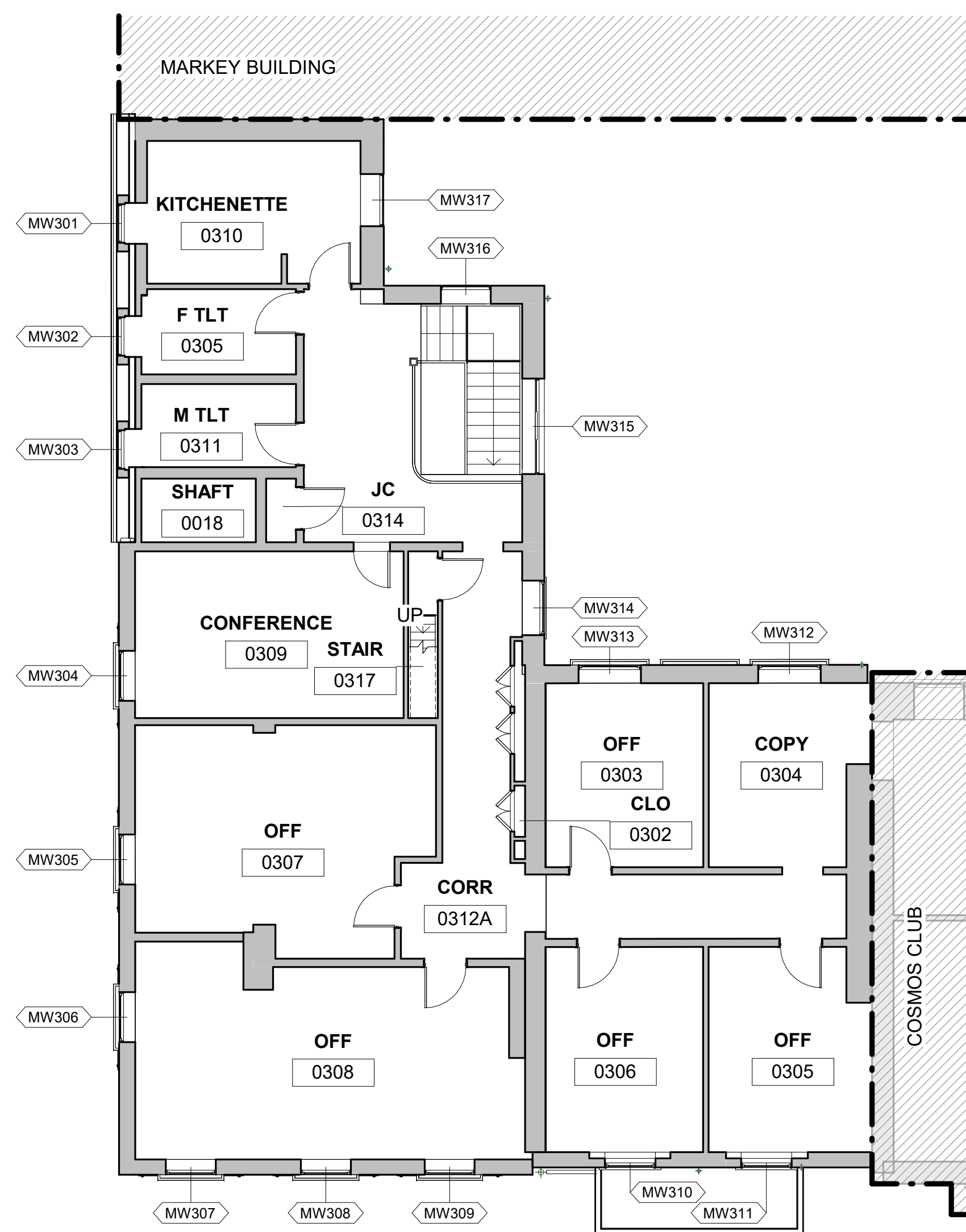
- | | |
|------|---|
| 0201 | DISMANTLE RUBBERIZED TRANSITION THRESHOLD TO RAISED PATIO |
| 0206 | DISMANTLE AND SALVAGE BRICK PAVERS |
| 0211 | DISMANTLE AND SALVAGE GRANITE PAVERS FOR REINSTALLATION |
| 0214 | DISMANTLE CEMENT BASED STUCCO WITH LBP ENCAPSULATED IN THE STUCCO LAYERS AND PROVIDE ACCESS AND TWO WEEKS TIME FOR COR TO EVALUATE CONDITION OF MASONRY |
| 0402 | REINSTALL BRICK PAVERS SALVAGED MATERIAL TO CREATE AN ABA COMPLIANT THRESHOLD |
| 0403 | REPAIR BRICK |
| 0405 | REINSTALL GRANITE PAVERS SALVAGED MATERIAL TO CREATE AN ABA-COMPLIANT THRESHOLD AND RAMP |
| 0409 | REPOINT BRICK FROM CORNER TO CORNER EDGE TO EDGE |
| 0410 | REPOINT MORTAR ON GRANITE STAIR |
| 0901 | POWERWASH LIME WASHED SURFACES. PROVIDE PRE-WASH MINERAL PAINT FIXATIVE AND MINERAL PAINT |
| 0900 | STUCCO WITH LIME-BASED STUCCO AND PROVIDE/PAINT MINERAL COATING |

0901A PREPARE SURFACE AND PAINT MINERAL COATING ON SURFACE. OR OTHER APPROPRIATE PAINT COATING FOR ALTERNATE SUBSTRATE MATERIALS.



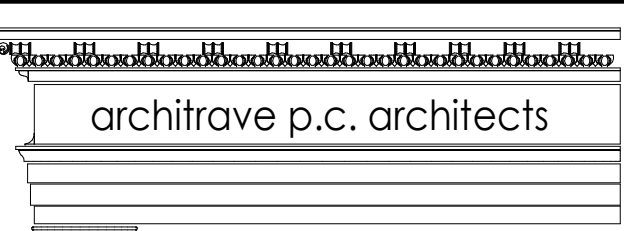
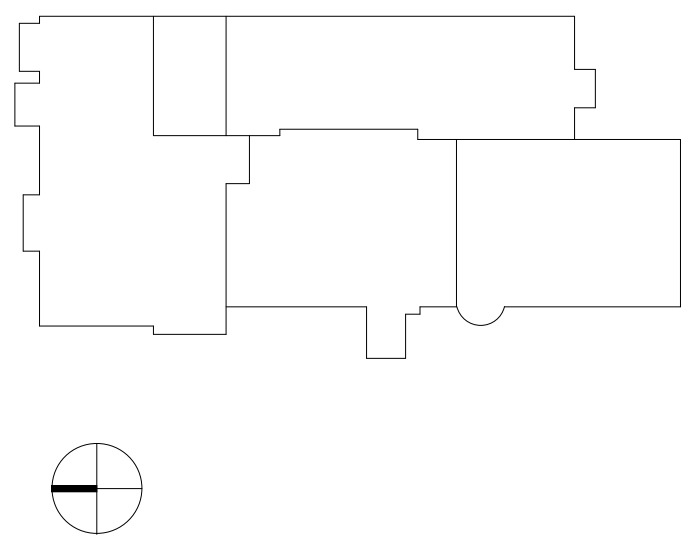
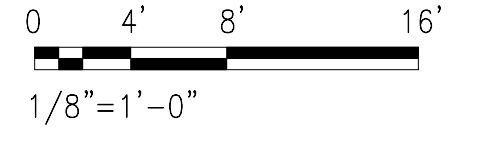


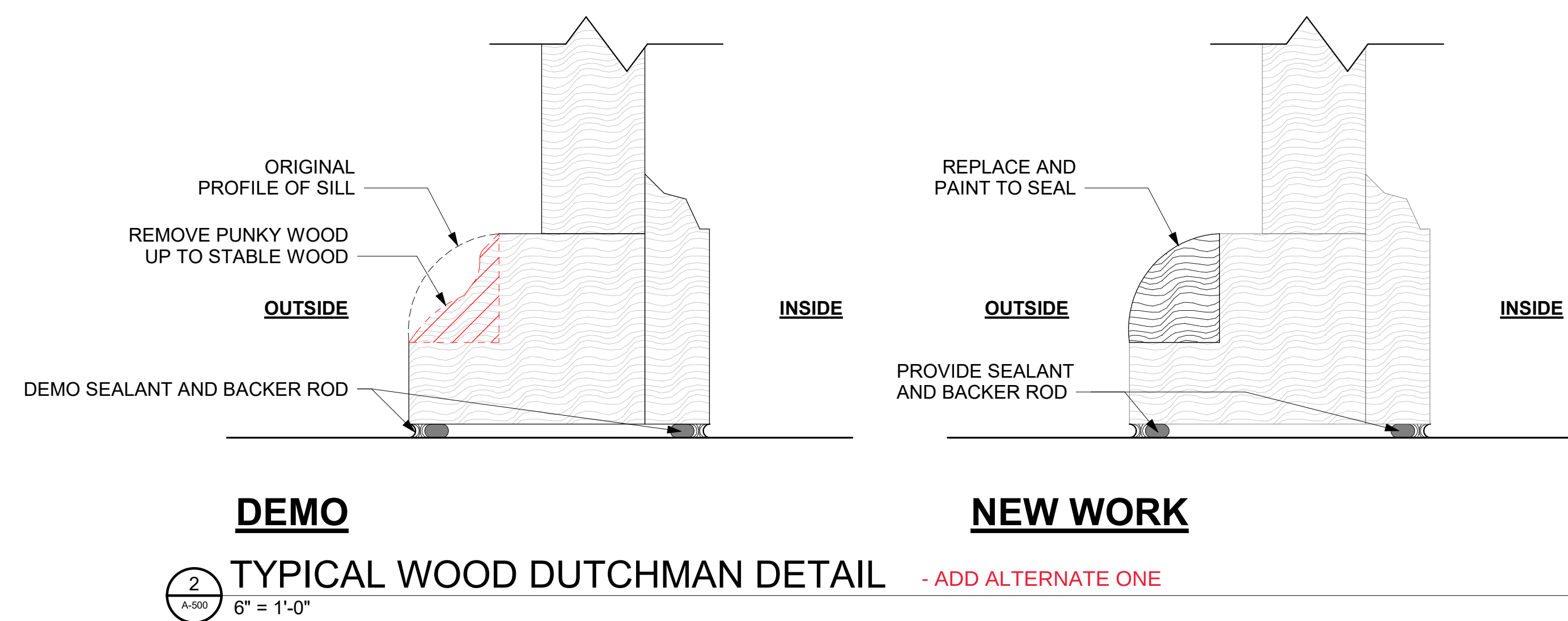
1 MADISON HOUSE SECOND FLOOR PLAN
1/8" = 1'-0"



2 MADISON HOUSE THIRD FLOOR PLAN
1/8" = 1'-0"

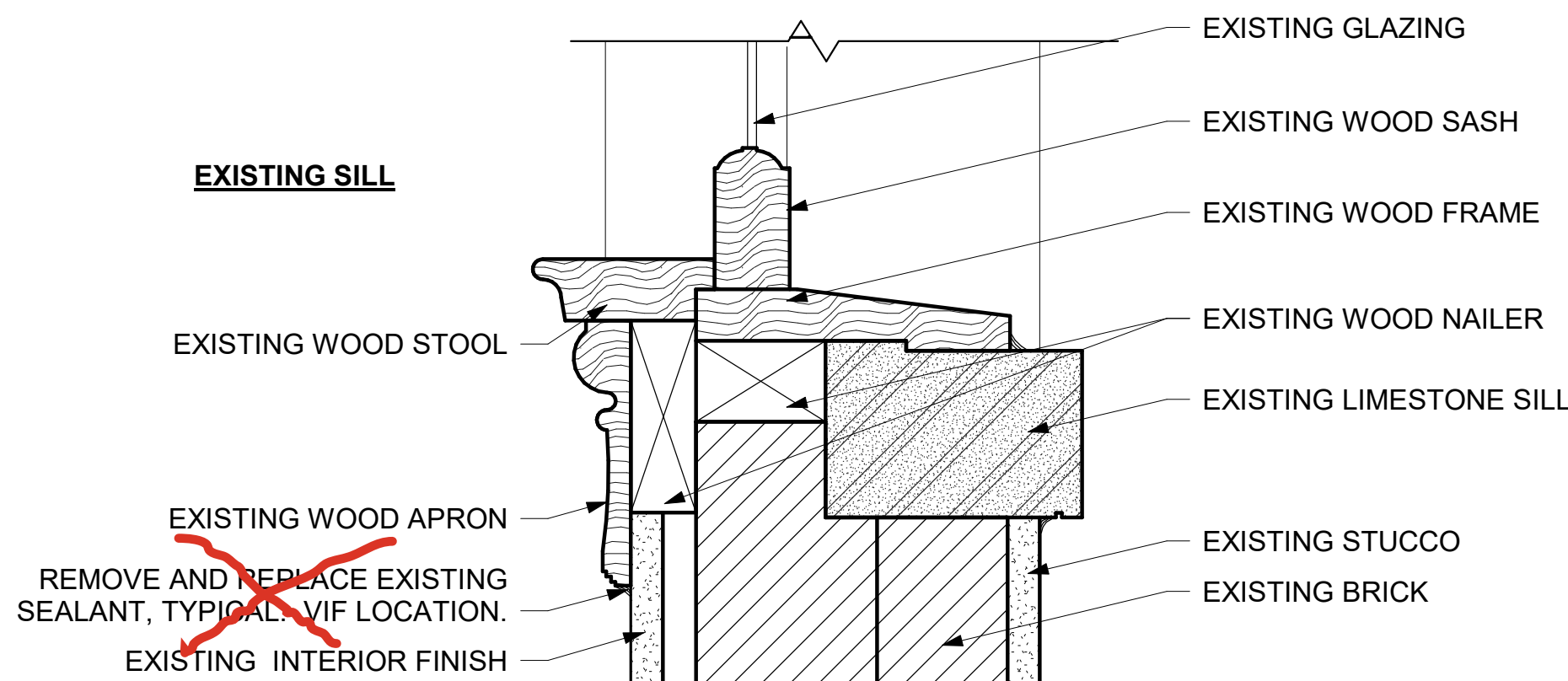
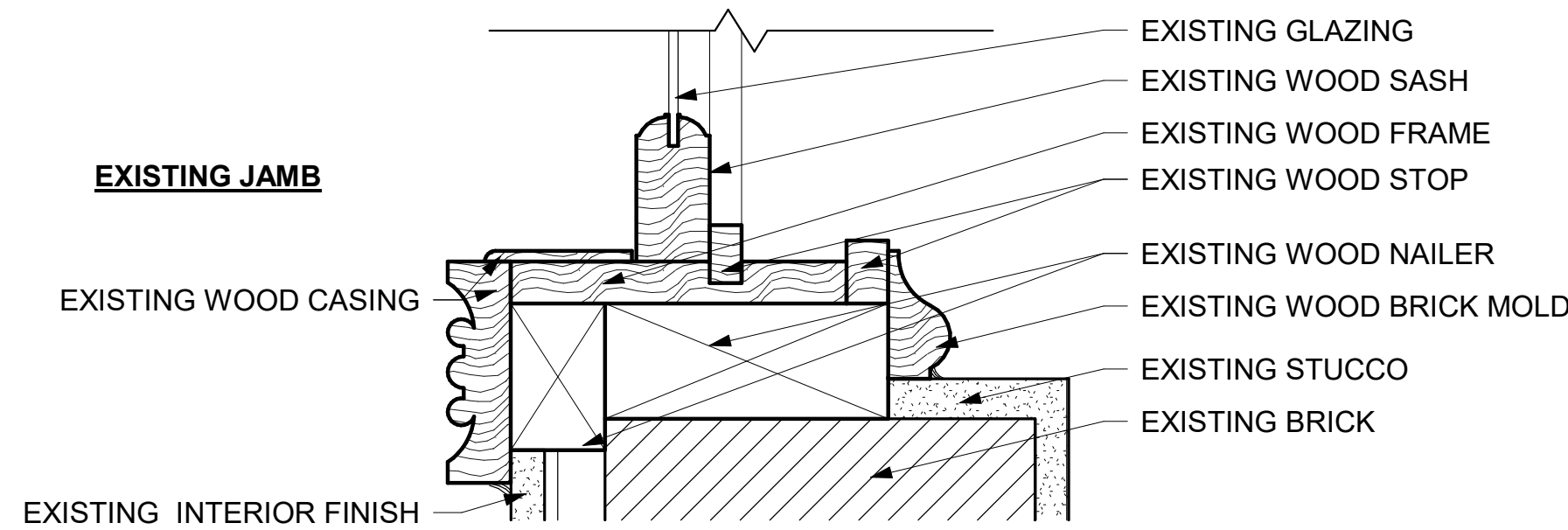
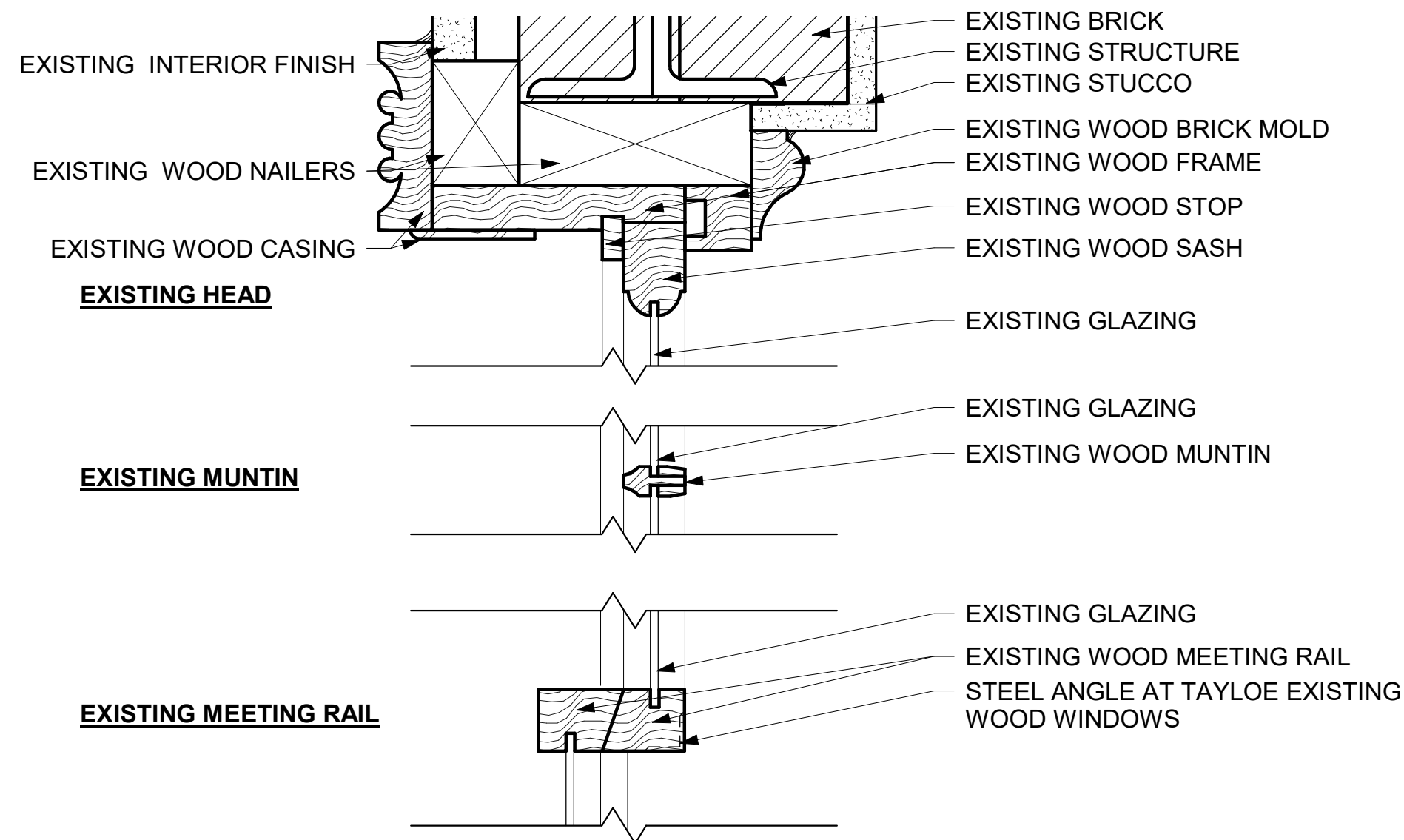
SHEET NOTES

		GENERAL SERVICES ADMINISTRATION		OWNER IDENTIFICATION
MADISON HOUSE, COSMOS CLUB, & TAYLOE HOUSE 717 MADISON PLACE, NW WASHINGTON, DC 20005-7700				DESIGNER IDENTIFICATION
420 10th ST. S.E. Washington D.C. 20003 202-544-1640				STAMP OR SEAL
		KEY PLAN		
		GRAPHIC SCALE		
Mark		Date		Description
PRIME CONTR. NO.		47PF0019D0048		CONTRACTORS
PRIME ORDER NO.		47PM0122F0003		
CONST. CONTR. NO.				
A/E		architrave p.c. architects		
SUB A/E		McMullan & Associates		BUILDING
CONST. CONTR.				
BUILDING NUMBER		DC0111ZZ, DC0112ZZ, DC0113ZZ		
BUILDING NAME		MADISON HOUSE, COSMOS CLUB, & TAYLOE HOUSE		
ADDRESS		717 MADISON PLACE NW		PROJECT IDENTIFICATION
CITY/ST./ZIP		WASHINGTON, DC 20005		
BIM FILE NAME		DC0111ZZ_B1-03_A_22		
PROJECT TITLE		HISTORIC TOWNHOUSES ENVELOPE REPAIRS		
PROJECT DESCRIPTION		PRESERVATION AND MINOR REHABILITATION		SHEET IDENTIFICATION
GSA PM		BRIAN KEEFER		
PROJECT NUMBER		RDC04752, RDC04736, RDC04732		
SUBMISSION STAGE		FINAL CD SUBMISSION (100%)		
SUBMISSION DATE		1/24/25		
DRAWN BY		NN		DATE DRAWN: 08/15/24
CHECKED BY		MR		
FLOOR NUMBER		N/A		
DISCIPLINE		ARCHITECTURAL		
SHEET TITLE		MADISON HOUSE SECOND AND THIRD FLOOR PLAN		SHEET IDENTIFICATION
SHEET NUMBER		A-102		
		SHEET 16 OF 45 SHEETS		



WORK CODES:

GSA GENERAL SERVICES ADMINISTRATION		OWNER IDENTIFICATION																								
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DISTRICT OF COLUMBIA MARGARET REED ARCHITECT APR 12 1982 LICENSED		STAMP OR SEAL																								
KEY PLAN																										
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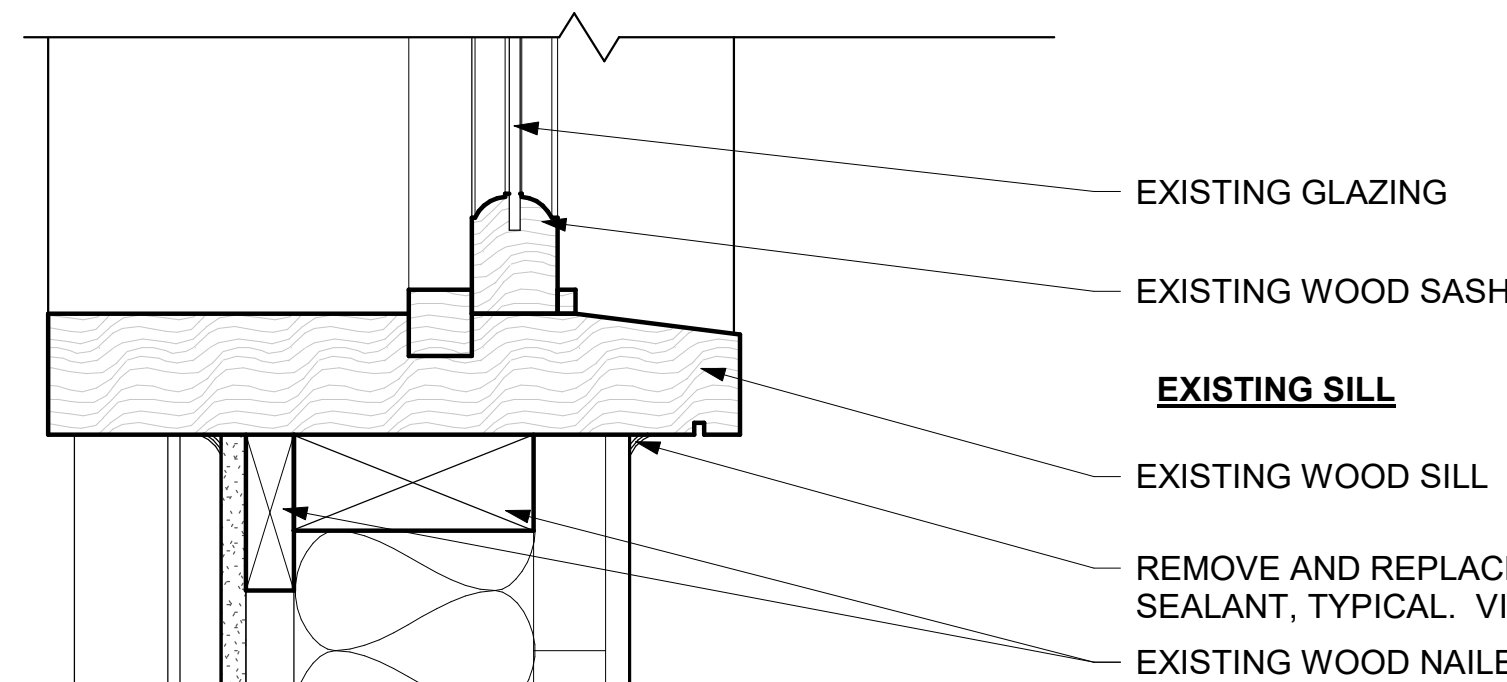
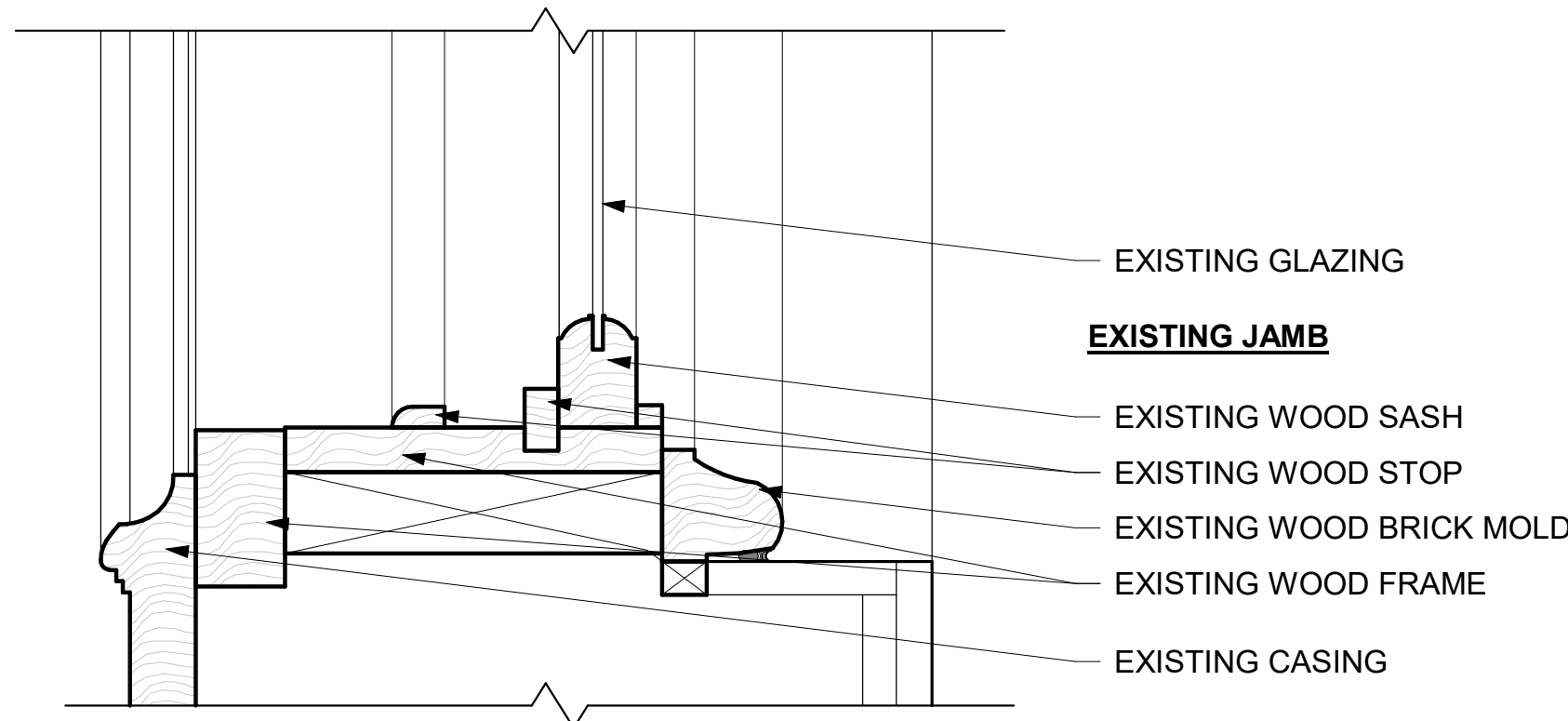
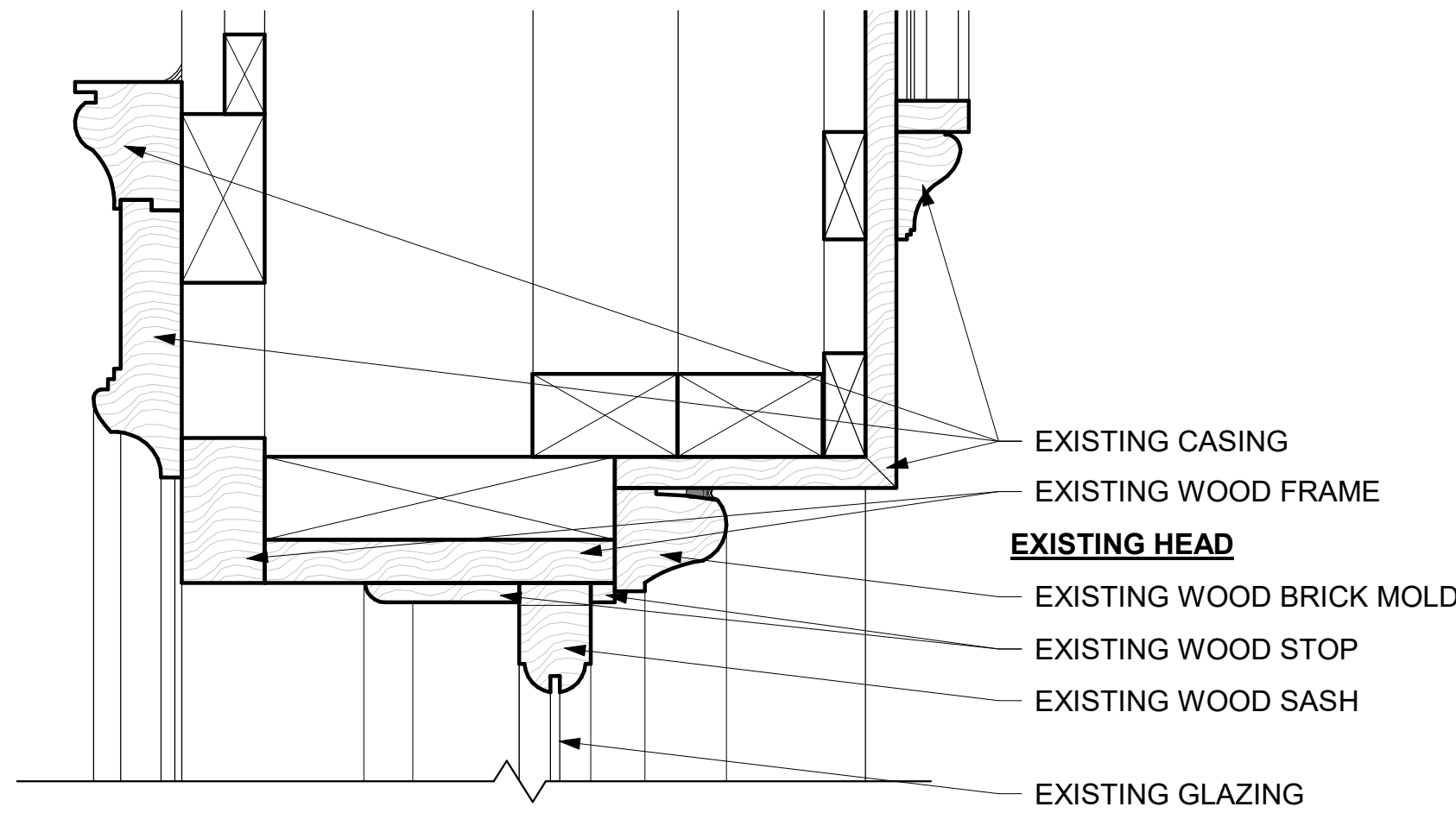
INTERIOR

EXTERIOR

TYP. EXISTING LIMESTONE SILL WINDOW DETAIL - MADISON HOUSE

1
A-501

3" = 1'-0"



INTERIOR

EXTERIOR

TYP. EXISTING WOOD SILL WINDOW DETAIL - MADISON HOUSE

2
A-501

3" = 1'-0"

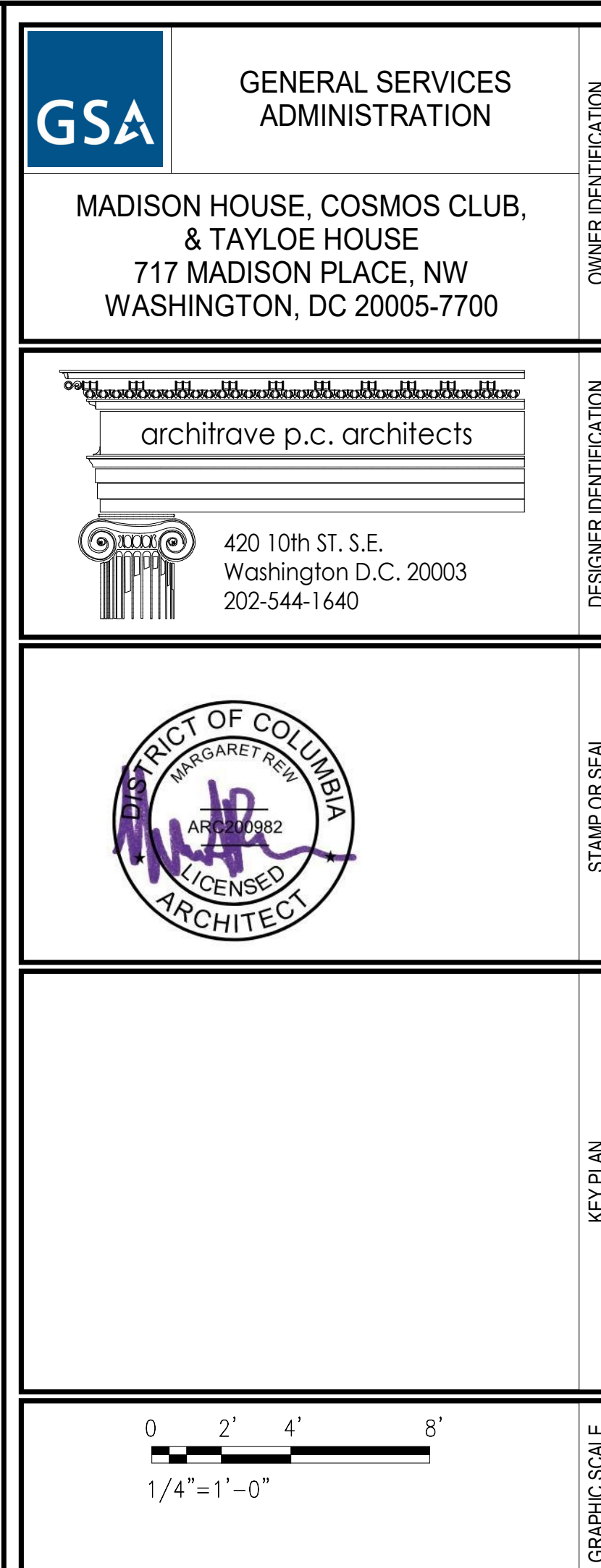
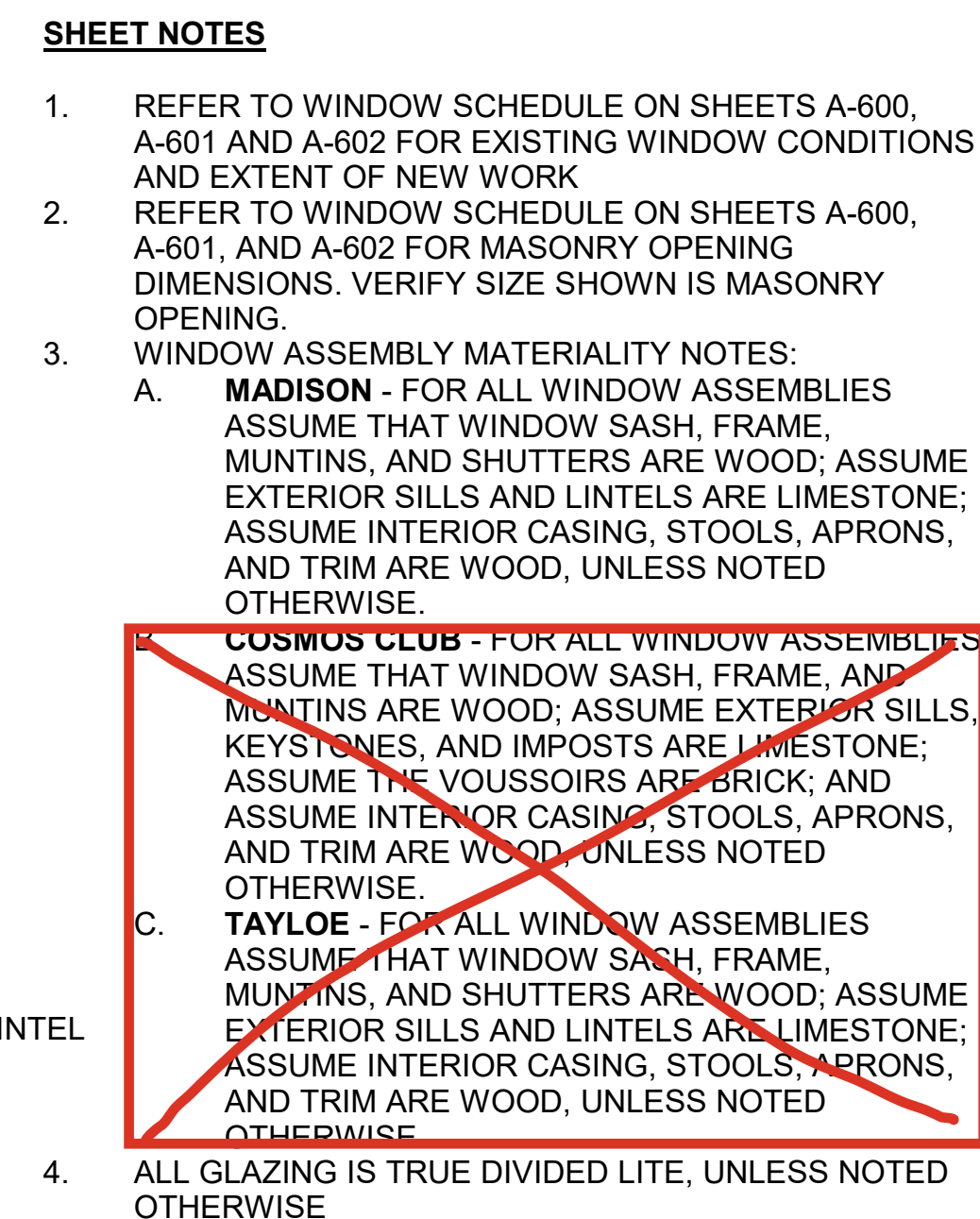
SHEET NOTES

1. REFER TO WINDOW SCHEDULE ON SHEETS A-600, A-601, AND A-602 FOR EXISTING WINDOW CONDITIONS AND EXTENT OF NEW WORK.
2. CONFIRM LOCATIONS OF EXISTING SEALANT AND REMOVE AND REPLACE AT REINSTALLATION, TYPICAL ALL WINDOW UNITS.

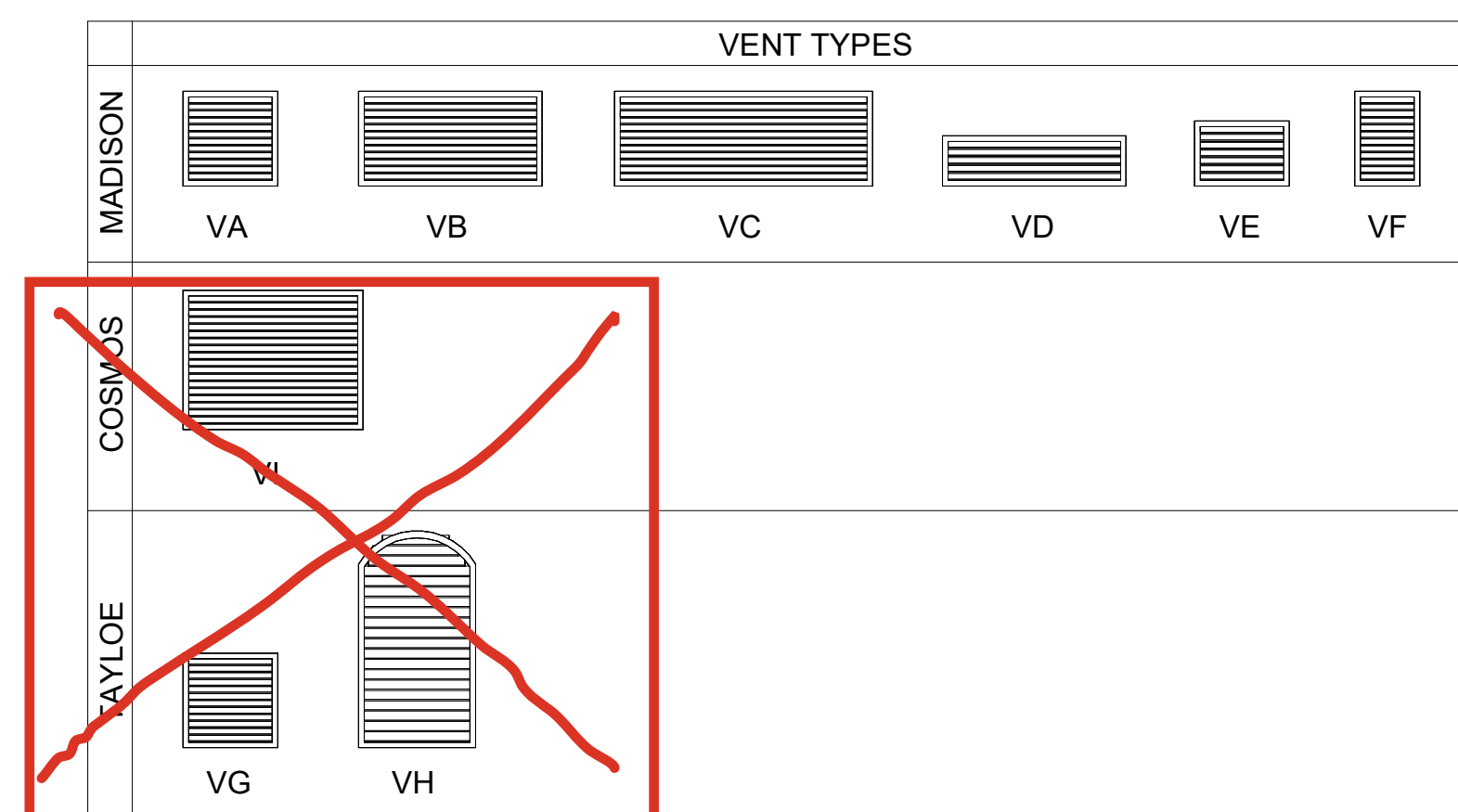
		GENERAL SERVICES ADMINISTRATION		OWNER IDENTIFICATION																				
MADISON HOUSE, COSMOS CLUB, & TAYLOE HOUSE 717 MADISON PLACE, NW WASHINGTON, DC 20005-7700		architrave p.c. architects		DESIGNER IDENTIFICATION																				
		420 10th ST. S.E. Washington D.C. 20003 202-544-1640		STAMP OR SEAL																				
				KEY PLAN																				
		0 3" 6" 9" 3" = 1'-0"		GRAPHIC SCALE																				
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FACADE	FENESTRATION NUMBER	EXISTING CONDITIONS				1	1	1					1	1	OR 1	OR 1	1	1	1	1	1	1	1	1	1	NOTES
		TYPE	SIZE (IN)	HARDWARE	0800	0801	0802	0802A	0803	0803A	0803B	0803C	0804	0804A	0804B	0804C	0805	0806	0806A	0807	0808	0809	0810	0811	0812	
NORTH	MVB01	VA	24 X 24	NA																						
	MVB02	VB	48 X 24	NA																						
	MVB03	VF	16 X 24	NA																						
	MVB04	VC	68 X 24	NA																						
	MVB05	VF	16 X 24	NA																						
	MVB06	VB	48 X 24	NA																						
	MW101	MD	44 X 94	3																						
	MW102	MX	72 DIA	NA																						
	MW103	MA	48 X 74	3																						
	MW104	ME	18 X 96	2																						
	MW105	MF	36 X 65	NA																						
	MW106	ME	18 X 96	1																						
	MW107	MA	48 X 74	3																						
	MW201	MB	30 X 96	3																						
	MW202	MB	30 X 96	3																						
	MW203	MC	48 X 72	3																						
	MW204	MH	48 X 74	3																						
	MW205	MH	48 X 74	3																						
	MW206	MH	49 X 74	3																						
	MW301	MG	36 X 48	3																						
	MW302	MG	37 X 48	3																						
	MW303	MG	38 X 48	3																						
	MW304	MH	44 X 88	3																						
	MW305	MH	45 X 88	3																						
	MW306	MH	46 X 88	3																						
	MVA01	VD	48 X 12	NA																						
	MVA02	VD	49 X 12	NA																						
	MVA03	VD	50 X 12	NA																						
	WEST	MVB07	VD	24 X 16	NA																					
		MVB08	VD	25 X 16	NA																					
		MVB09	VD	26 X 16	NA																					

1/24/2025 4:14:17 PM



1 **MADI**
A-603 1/4" = 1'-0"



2 COSM
A 602 1/4" - 1' 0"

4 VENT
A-603 1/4" = 1'-0"



